

# Woollahra Heritage Conservation Area

DEVELOPMENT CONTROL PLAN 2003

This plan is applicable  
to all development  
within the Woollahra  
Heritage Conservation Area

**Date of commencement:** 3 April 2003 (for land within the Woollahra Heritage Conservation Area, at the date of approval).  
27 April 2004 (for all land within the extension to the Woollahra Heritage Conservation Area gazetted under Woollahra LEP 1995 (Amendment No. 48)).

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## Acknowledgments

This development control plan was proposed by Woollahra Council Officers with the assistance of the consultants.

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# PART 1

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# Introduction

## PART 1

### 1.1 Background

The Woollahra Heritage Conservation Area (HCA) is a place of outstanding local heritage significance. The special character of the HCA derives from its unique historic background and the expression of this background in its interrelationship of buildings, their settings, landscaping and open spaces, topography and land uses.

As part of a broader strategic planning exercise, Woollahra Municipal Council is undertaking a area-specific planning in acknowledgment of the varied urban environment within the Municipality. This area-based approach recognises the interrelationship of public and private lands as well as the manner in which activities on those lands can affect the significance and character of an area in both positive and negative ways.

The contextual planning approach adopted by Council for the HCA commenced with the creation of a project reference group. The group's membership was drawn from community representatives, Council staff, Cooper and Bellevue Hill Ward Councillors and heritage consultants. The project reference group provided input at various stages.

Stage 1 of the project involved researching the historical background of the HCA to produce a thematic history, which, combined with extensive foot surveys, led to the definition of several precincts within the HCA. Statements of significance, character statements and a brief history were prepared for each precinct.

The findings of stage 1 have been included in the background documents available as a supplement to this plan. The background document describes the context for development and provides the basis for the objectives and controls in this plan. An applicant should read those parts of the background document relevant to the application site before preparing a development proposal.

At the conclusion of stage 1, it was clear that the significance of the HCA derives not just from the heritage items listed in Woollahra Local Environmental Plan 1995 (LEP 1995) but also from its large collection of contributory buildings and elements (together referred to as significant items in this plan). The concept of significant items is a key feature of this plan.

Stage 2 involved the preparation of the development control plan itself. The plan has the following key elements:

- an emphasis on the development control context;
- a focus on the importance of significant buildings, both individually and in groups;
- the use of specific policy, which applies to precincts, significant items, building types and to infill and replacement buildings;
- the use of general policy, which applies to all development.

## 1.2 Name of this plan

This plan is called Woollahra Heritage Conservation Area Development Control Plan.

## 1.3 Land to which this plan applies

This plan applies to the Woollahra Heritage Conservation Area (HCA), which is shown in Appendix D. This HCA is gazetted as part of Woollahra LEP1995 and is delineated on the LEP Heritage Conservation Map.

## 1.4 Development and applications to which this plan applies

This plan applies to all development (whether on private or public land) in the Woollahra HCA that requires consent under Woollahra LEP 1995, including:

- alterations or additions to an existing building and its site;
- demolition in part or full;
- infill development;
- land subdivision;
- road works associated with kerbs and gutters;
- traffic management works;
- development in parks;
- service infrastructure;
- footpath works.

This plan applies to development applications and applications to modify development consents under section 95 of the *Environmental Planning and Assessment Act 1979* (the Act) that are made on or after the commencement date of this plan.

**Note:** Certain minor types of development may be carried out as exempt development (i.e. without the need for consent of any type). Other development may be carried out as complying development, in which case a complying development certificate is required. Applicants should refer to the Woollahra DCP for Exempt and Complying Development for more information on these types of development.

## 1.5 How to use this plan

### General

This plan is to be used by anyone seeking to undertake development that requires consent in the Woollahra HCA as identified in clause 1.3 above. The Council will also use this plan in its assessment and determination of development applications and applications to modify development consents.

### Format used in the plan

This plan is divided into parts, clauses and sub-clauses for easy reference. It is cross-referenced where relevant.

The elements in clause 3.2 (significant items and group significant buildings), clause 3.3 (building type controls), clause 3.4 (general controls for development), and Part 4 (public domain) utilise a common format:

- Explanation: the reasons or need for including the particular element or the importance of the element.
- Objectives: the intention or desired outcome for each element.
- Controls: set down the main means of achieving the objective. They may include numerical standards. It is possible that some of the controls listed for each of the elements will not be relevant to every type of development. As part of the material submitted with each application, the designer or applicant must nominate those controls that are considered not to be relevant to the development and must state the reasons why those controls are not relevant.
- Design suggestions are provided in some instances. These suggestions may apply only to certain building types.

### Hierarchy of controls

Certain controls and objectives take precedence over other controls and objectives. In Part 3, if there are situations where the controls in clauses 3.1, 3.2, 3.3 and 3.4 differ and are inconsistent, those controls in the earlier clause take precedence (for example clause 3.2 prevails over clause 3.4).

### Using the controls

The provisions of this plan are to be used by applicants in a particular sequence, the steps for which are set out below. Before using the relevant steps for either development on public or private land, applicants should carry out the following:

- Refer to the operational and relationship provisions in Part 1. In particular, Part 1 explains how the plan relates to other plans, policies and planning legislation.
- Refer to material in Part 2 about the significance of the HCA, its desired future character, the Council's conservation philosophy and management policy for the HCA, and the Council's approach to contemporary design in the HCA.

### Development on private land

The following steps apply to alterations and additions to existing properties and to infill development.

- Step 1** Establish the precinct in which the property is located by referring to the map in Appendix D.
- Step 2** Examine the significant characteristics for the relevant precinct listed in clause 3.1 to identify important features within that precinct that must be retained and protected. Specific precinct controls are provided. Proposals must comply with the precinct controls.
- Step 3** Establish whether the land, the existing building, structures or features on the land are a heritage item, a contributory item, a group element, or a combination of these by referring to the schedule in Part 5.
- Step 4** If the property is listed in any of the ways described in step 3, examine the objectives and controls in clause 3.2 for significant items (i.e. heritage items and contributory items) and group significant buildings. Proposals must comply with these objectives and controls. Infill development must comply with the objectives and controls where the development site contains a heritage item or a contributory item that is required to be retained in whole or in part.
- Step 5** Identify the building type by referring to clause 3.3 and examine the objectives and controls relevant to the building type. Proposals must comply with these objectives and controls.
- Step 6** Examine the general objectives and controls contained in clause 3.4 and identify those objectives and controls that apply to the proposed development. Proposals must comply with these objectives and controls.

### Development on public land

For development on public land, steps 1, 2, 3, 4 and 6, as described above, are to be followed. Step 5 is replaced by reference to Part 4, which sets out objectives and controls for particular work on public land.

## 1.6 Objectives of this plan

The objectives of this plan are:

- a) to facilitate the implementation of the objectives and provisions relating to heritage conservation contained in Woollahra LEP 1995;
- b) to acknowledge and conserve the heritage significance of the Woollahra HCA;
- c) to encourage the retention and appropriate development of significant items;
- d) to provide controls to protect the identified heritage values and significant character of the Woollahra HCA and encourage contemporary design that responds appropriately to that character;
- e) to enable appropriate and expert consideration of proposed development to be made by applicants and the Council;
- f) to encourage and promote public awareness, appreciation and knowledge of heritage conservation;
- g) to integrate planning, design and decision making associated with development initiated by the private and public sectors; and
- h) to enhance amenity and heritage values within the Woollahra HCA.

## 1.7 Relationship with other documents

### 1.7.1 The Act and the Regulation

This plan has been prepared under section 72 of the *Environmental Planning and Assessment Act 1979* (the Act) and Part 3 of the *Environmental Planning and Assessment Regulation 2000*.

### 1.7.2 State policies and regional plans

State environmental planning policies and regional environmental plans may apply to the land to which this plan applies. Where this occurs, the statutory provisions of those policies and plans prevail over this plan.

### 1.7.3 Woollahra LEP 1995

Woollahra LEP 1995 applies to the land to which this plan applies. Woollahra LEP 1995 is a statutory instrument that sets out the land use zones and broad development controls for development within the municipality, including controls for height, floor space ratio (for certain development), special sites and areas, heritage conservation areas and heritage items.

This plan supplements the provisions of Woollahra LEP 1995. The provisions of Woollahra LEP 1995 prevail over this plan.

### 1.7.4 Other Woollahra DCPs, policies and codes

In the event of any other inconsistency between this plan and other development control plans, policies and codes, this plan prevails unless otherwise specified in this plan or in other plans, policies and codes.

Except as provided in clause 1.8, this plan repeals the following development control plans, codes and policies in so far as they apply to the land to which this plan applies with effect from the commencement date of this plan:

- Woollahra Residential DCP 1991
- DCP for 86 Holdsworth Street
- Policy for Changes to Facades and Alterations to Buildings in Watsons Bay, Bondi Junction, Woollahra and West Woollahra
- Policy for Alterations and Additions to Semi-detached and Terrace Houses in Areas Outside Designated Conservation Areas
- Code for Control of Fencing (1985)
- Code for Tennis Courts (1989)
- Code for the Installation of Solar Hot Water Heating (1988)
- Code for Satellite Communication Dishes and Similar Structures (1989)
- Code for Television Antenna and Radio Transmitters/Aerials (1989)
- Code for Siting of Swimming Pools (1982)
- Code for Spa Pools, Hot Tubs and Similar Structures (1989)
- Code for the Control and Regulation of Noise on Building Sites (1989)
- Code for Building Sites (1991)

Except as provided in clause 1.8, a reference to the RDCP 1999 or the Residential DCP in other DCPs (except the Kilmory DCP), policies, codes and plans in force at the time this plan commenced shall be taken to mean a reference to this plan unless otherwise stated in this plan or those other DCPs, policies, codes and plans.

## 1.8 Savings and transitional provisions

Despite the statements and the repeal of development control plans, policies and codes referred to in clause 1.7, the following savings and transitional provisions apply as if clause 1.7 had not operate:

Woollahra Residential DCP 1995 continues to apply (in respect of land to which this plan applies) to development applications and applications to modify development consents under section 96 of the *Environmental Planning and Assessment Act 1979* that were made prior to but not determined on the date of commencement of this plan.

Woollahra Residential DCP 1998 continues to apply (in respect of land to which this plan applies) to development applications and applications to modify development consents under section 96 of the *Environmental Planning and Assessment Act 1979* that were made after 6 April 1998 but before the commencement date of Woollahra Residential DCP 1999 (20 September 1999) and which were not determined on the date of commencement of the Residential DCP 1999.

Woollahra Residential DCP 1999 (as amended by amendments 1, 2, 3 and 4) continues to apply (in respect of land to which this plan applies) to development applications and applications to modify development consents under section 96 of the *Environmental Planning and Assessment Act 1979* that were made prior to but not determined on the date of commencement of this plan.

The codes and policies referred to in clause 1.7 continue to apply (in respect of land to which this plan applies) to development applications and applications to modify development consents under section 96 of the *Environmental Planning and Assessment Act 1979* that were made prior to but not determined on the date of commencement of this plan.

## 1.9 Definitions

Some terms used in this plan have a particular meaning, which is set out in Part 6 - Glossary.

### 1.10 Approval and commencement of this plan

- i. This plan was approved on 24 November 2003 and came into effect on:
  - a) 3 December 2003 for all land within the Woollahra Heritage Conservation Area as at the date of approval; and
  - b) 27 April 2004 the date of gazettal of Woollahra LEP 1995 (Amendment No. 48), for all land within the extension to the Woollahra Heritage Conservation Area.

### 1.11 Lodging a development application

Council's requirements for lodging development applications are located in Council's DA Guide.

# PART 2

Repealed by WDCP2015 on 23/05/15

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# Understanding the context

## PART 2

### 2.1 Description of Woollahra Heritage Conservation Area

The distinguishing natural and built elements of the Woollahra Heritage Conservation Area (HCA) are:

- A topographic form that is generally relatively level but slopes along its eastern and northern boundaries towards the more dense vegetation of Cooper Park and the Double Bay gully. Distinctive long views towards the HCA's buildings and trees, many of which are historically significant, are possible from the eastern end of the area.
- In the east and south-west of the HCA, regular, gridded street patterns with alternating wide streets and narrow rear lanes. Houses are generally aligned to face the street. In the north, the grid expands to form much larger blocks and generally does not include rear lanes. Houses in this area are often aligned to face views to the harbour, Double Bay or across to Bellevue Hill.
- A land use character that is predominantly residential but also contains several shopping precincts as well as distinctive public, private, religious, light industrial and institutional buildings.
- A number of precincts that retain the architectural detailing, roof forms, materials, fencing and sometimes landscaping of their phase of development within the HCA:
  - **The Rosemont Precinct**, which is characterised by large lots including gardens, the villas and estate remnants of the mid-Victorian period and the detached houses and blocks of flats of the inter-war period.
  - **The West Woollahra Precinct**, which is characterised by small lots and a variety of generally small-scale cottages and terrace houses.
  - **The Queen Street Precinct** with its mix of significant mid-to-late Victorian and Federation residential, civic and retail buildings.
  - **The Nelson Precinct**, which is characterised by the highly consistent late-Victorian Gothic style cottages of the Waimea and Woods Avenue groups, its gracious mid-Victorian houses and its many inter-war flat buildings.
  - **The Harbour View Precinct**, developed by E.K. Harkness with a fine collection of Federation period houses influenced by Victorian Gothic architecture.
  - **The Grafton and Fletcher Precincts** with their variety of Victorian and Federation timber, stone and brick cottages, detached or semi-detached and terrace houses.
- A visual and architectural complexity that derives from:
  - the variety of contributory public and private building types including residential buildings, institutional buildings such as schools, religious buildings including churches and synagogues, hotels, retail buildings, commercial and light industrial premises,
  - the variety of contributory architectural styles and scales within the range of building types,
  - the complex and varied subdivision pattern, which directly affected the sizes of buildings constructed in different parts of the HCA,
  - contributory remnant landscape elements including front fences in a variety of styles that complemented the houses behind them, sandstone retaining walls and bedrock shelves, trees including Norfolk Island, Cook and Bunya pines from early estates and gardens, rows of street trees such as Moreton Bay and Port Jackson figs and London Plane trees, sandstone kerbs and gutters and red-coloured street-name inlays to footpaths,
  - its municipal parks and small reserves, which often contrast with the dense urban fabric of the areas surrounding them.

- A variety of open space and landscape features that include:
  - municipal street tree plantings,
  - small public parks,
  - private open spaces around institutional buildings,
  - remnant and distinctive trees from the gardens of large early estates. These make a strong contribution to the skyline of the HCA and are visible from great distances
  - private gardens that contribute significantly to the townscape quality of streets and laneways,
  - leafy escarpment areas along Edgecliff Road and the borders of Cooper Park.

## 2.2 The significance of the Woollahra Heritage Conservation Area

The HCA has historical, aesthetic, technical and social significance at the local level.

The surviving built and natural fabric of the HCA has significance for its ability to demonstrate the important historical phases of the area's development, including the development of large estates during the mid-19th century, small-lot residential development in the mid-19th century, retail development of the mid-19th to early 20th centuries, speculative subdivisions of the late-19th century, inter-war consolidation and municipal improvements of the 20th century.

In its surviving elements of built fabric, the HCA retains the potential to reveal evidence of ways of life, building and land uses which have now changed or disappeared. Such fabric includes: former retail, school and religious buildings that have been converted for other uses, early domestic kitchens and their associated service areas and technology, former stable buildings, outbuildings including early external toilets and garages, 'nightsoil' lanes, paling fences and gates to rear lanes, front fences and gateposts to buildings that have been demolished, bricked-up openings to former doors and first-floor loading bays to former industrial and storage buildings.

The HCA has high aesthetic significance for its visual complexity derived from:

- the variety of significant public and private building types;
- the variety of significant architectural styles and scales within the range of building types;
- the complex and varied subdivision pattern;
- the significant intact and remnant landscape;
- the municipal parks and small reserves.

The HCA contains aesthetically significant items of architectural excellence dating from all the major periods of its development, many designed by the eminent architects of their period.

The area has social significance for its association with the growth of the heritage conservation movement in Sydney during the 1960s. It was an early example of an area which received recognition by the National Trust and the Australian Heritage Commission through the efforts of the local community.

## 2.3 Desired future character of Woollahra Heritage Conservation Area

The desired future character of the HCA is one that:

- retains its heritage significance and its recognition as a rare and distinctive urban area,
- retains and promotes evidence of the historical development of the HCA and its individual precincts and enables the interpretation of that historical development,
- maintains the residential character that has been predominant from the earliest phase of its development,
- maintains the character and significance of its identified precincts,
- retains the distinctive building types characteristic of the area and its precincts,
- continues to cater for a variety of uses and building types within a predominantly residential area,
- exhibits contemporary design excellence.

## 2.4 Conservation philosophy and management policy

This plan adopts the conservation philosophy embodied in the Australia ICOMOS *Charter for the Conservation of Places of Cultural Significance* (the Burra Charter). The Burra Charter is widely accepted by government agencies and private industry as the standard philosophy for heritage conservation practice in Australia. The Burra Charter sets down principles, processes and practices for the conservation of significant places. Certain terms used in the Burra Charter are also used in this plan and are defined in Part 6, Glossary.

Having regard to the heritage significance of the HCA, Council has adopted the following policy as its approach to the management of the area. Council intends to implement this policy when assessing development proposals and when undertaking Council-initiated work within the public domain.

### Objectives

- To retain the heritage significance and significant characteristics of the HCA, and its precincts, including its variety of distinctive building types, the built and landscape evidence of its historical development and its public and private open spaces and gardens.
- To allow removal or alteration of uncharacteristic features that detract from the significance of the HCA.
- To retain and conserve (heritage items and contributory buildings known as significant items, (i.e.: those properties and features identified as contributing to the significance of the HCA), including significant fabric, curtilages and settings.
- To encourage the reconstruction of significant items that have been unsympathetically altered.
- To ensure that development is compatible with the significance and significant characteristics of the HCA and respects the principles contained in the Burra Charter

### Processes

All applications for development within the HCA will be assessed with regard to the impact of the proposed development on individual buildings, significant characteristics and the overall significance of the HCA.

Council will require the preparation of a heritage impact statement (and, in some cases, a conservation management plan) to accompany development applications for major works such as demolition (including partial demolition), alterations and additions or new or replacement development.

An application for demolition of a building in the HCA will be considered only in conjunction with a proposal for replacement development.

Work undertaken by Council will comply with the above policy and will be subject to the same level of assessment as development on privately-owned land.

## **2.5 Contemporary design in Woollahra**

Part of the cultural significance of the HCA stems from its ability to demonstrate the important historical phases of its development between the mid-19th and mid-20th centuries. The HCA's surviving built and natural fabric retains the potential to reveal further evidence of ways of life, building and land uses which have now changed or disappeared.

Council does not advocate replication of historic architectural styles or the use of pseudo-period detail in new development. By adding a layer of development which illustrates the ways of life and design approaches of the early 21st century, contemporary design can contribute to the rich history of the HCA and the expression of this history in the area's built fabric. Inventive and interpretive contemporary design solutions of high architectural quality may be quite different in spirit and appearance from existing fabric while still providing a positive contribution to the continued history of the HCA.

Contemporary design for infill development and for additions to significant items is therefore encouraged as long as it respects its context and achieves a cohesive relationship with historically significant existing fabric.

In some locations and circumstances, a traditional design approach may be required. Such an approach may be appropriate, for example, where alterations are proposed to a highly intact section of a building that has a high level of significance.

A thorough understanding of the historical background and physical context of the site will act as a guide to the appropriateness of the design approach. Designers will be required to demonstrate that the application of contemporary forms, materials or detailing provides an appropriate response to the streetscape, the precinct and the HCA as a whole.

Repealed by WDCP2015 on 23/05/15

# PART 3

Repealed by WDCP2015 on 23/05/15

# Private domain

## PART 3

### Explanation

In the Woollahra HCA, with its established and valuable historic character, new buildings and alterations and additions to existing buildings must be designed with close reference to their context and building type. Context is discussed in part 2. Building types are discussed in clause 3.3.

Even small changes to buildings in the HCA require careful consideration, especially where changes are visible from the street or from other public spaces. It is not just change to the streetfront elevations of buildings that is important. Alterations and additions at the rear of properties are also often visible from the public domain and can alter the proportion, scale and cohesion of a group of buildings.

In the Woollahra HCA, the aim is to establish a cohesive relationship between new work and the existing building fabric. This does not mean that additions should be designed in a historicist style. Contemporary design is often appropriate, as long as it responds to the relevant aspects of its context. Refer to clause 2.5.

Retention of original fabric and detail and the removal of inappropriate and intrusive building elements to the elevations of significant buildings are also important. The reinstatement of missing detail and building elements is also encouraged.

The general controls in clause 3.4 apply to all private land within the HCA. Specific controls that apply to individual precincts, significant items and significant building types are contained in clauses 3.1, 3.2 and 3.3 respectively. Where the controls differ, those in the earlier part take precedence (for example, clause 3.2 prevails over clause 3.4).

**Note:** The objectives and controls in Part 3 apply to alterations and additions to existing buildings and to infill development.

Repealed by WDCP2015 on 23/05/15

### 3.1 Precincts

#### Introduction

The Woollahra HCA comprises a broad triangular plateau, sloping gently from the ridge that forms its southern and western boundaries to the north and east to the escarpment above Double Bay. Early settlement took place within the confines of the Old South Head Road on the southern ridge [now largely Oxford Street], the Road to Point Piper [now Jersey Road] and Edgecliff Road skirting the Double Bay gully. Originally known in the 1850s as Upper Paddington, the area was later called Woollahra following the establishment of the municipality in 1860. Development from the 1880s was concentrated east of this area and also extended to the north of Edgecliff Road.

The division of the HCA into seven precincts is a reflection of the varied development patterns that resulted from the large and unusual leasehold landholding of the area known as the Point Piper Estate.

The mid-Victorian development of the West Woollahra precinct attracted working class people whilst the affluent owners built large residences in extensive grounds with harbour views in the Rosemont precinct. The areas between, the Queen Street and Nelson precincts, developed as a diverse mix of residences and shops as the gaps closed. The suburban boom of the 1880s in Woollahra continued the slow development trend with piecemeal development by local builders in the east, the Grafton and Fletcher precincts. Only the Harbour View precinct, the rapid work of a single builder, demonstrates an individual housing style.

The Woollahra HCA has continued a pattern of redevelopment and infill that contributes to its significance as a rich and diverse conservation area with many fine architectural examples from every period of the 19<sup>th</sup> and 20<sup>th</sup> century. The identified precincts have different settlement patterns that demonstrate the distinguishing character elements that contribute to the overall significance of the Woollahra HCA. Many smaller precincts exist within the diverse precincts.

The significant natural and built character elements of each of the precincts to be retained are described in each of the following sections, with precinct-specific controls to supplement the general development controls and significant items and building type controls in part 3. When there is any disparity, the precinct-specific control takes precedence over the general development control.

The precincts are shown collectively on the Significant items map in Appendix E and individually in Appendices F to L.

#### General precinct controls

The significant characteristics of each precinct must be conserved. This is to be achieved by complying with the controls within part 3 and 4 of this plan, and by the retention of significant items listed in part 5 of this plan.

### 3.1.1 Rosemont precinct

The significant characteristics of the Rosemont Precinct are:

- A subdivision pattern developed from former estates made up by large, sometimes irregularly shaped lots that respond to the hilly topography and Edgecliff Road.
- Remnant substantial houses orientated towards the harbour views and landscape features of the large early estates [such as 'Rosemont' in Rosemont Avenue, the terraces and sandstone retaining walls from 'Eynesbury' in Albert Street, the Kauri Pine from the grounds of 'Quirning' at 2 Trelawney Street and the later subdivision of Quambi and 'Hillside'].
- Streetscapes of mature street trees, including the avenue of plane trees in Rosemont Avenue and the figs and plane trees in Edgecliff Road and Ocean Street. Substantial sandstone retaining walls respond to the steep topography.
- The combination of substantial Victorian houses within landscaped grounds, located beside large terraces or semi-detached houses from the Victorian or Federation period and houses and residential flat buildings from the inter-war period. Gardens often contain mature trees such as pines, planes and figs. Front fences and gates are designed in association with and to complement the buildings behind.
- The variety of its residential architecture, which includes:
  - detached and semi-detached Victorian houses with external masonry walls of unpainted sandstone or painted stucco, often with decorative painted cement render mouldings. Roofs are steeply pitched and were generally originally clad in slate. Windows are vertically proportioned, painted timber double-hung sashes. Porches or verandahs often had cast iron filigree detailing.
  - detached and semi-detached Federation houses usually in the Queen Anne style. Walls were originally unpainted brickwork. Open verandahs have turned and fretted timber work. Roofs are steeply pitched with tall chimneys and clad with slate or Marseilles pattern terracotta roof tiles. Windows are casements or double hung sashes with multi-paned tops lights.
  - inter-war houses in an eclectic variety of styles typical of the period, including Spanish Mission, Mediterranean, Georgian Revival and Old English, usually with painted stucco walls and Roman, Spanish or Marseille pattern tiles. The houses sometimes combine detailing from a number of these styles.
  - inter-war flat buildings usually in face brick with terracotta tiled roofs. The styles of the flat buildings often demonstrate the influence of the inter-war domestic styles for detached houses. Skyscraper Gothic styled apartments are also present.
- Garages and carports that are generally located within the property at some distance from the front boundary or accessible from a side street.
- Substantial Victorian and Federation institutional and public buildings including the former Woollahra Council Chambers [Goethe Institute], Woollahra Public School and Fire Station, All Saints Anglican Church, St Columba Uniting Church, Little Sisters Convent and Wolper Hospital.
- Chiswick Gardens, a municipal garden established in 1938.

### **Rosemont precinct controls**

- C1     Significant trees, mature trees, landscape elements including sandstone retaining walls, terraces, fences, and outbuildings to early estates are to be retained in place, even where they are located on property which has been subdivided from the site on which they were originally located.
- C2     The deep soil landscape area of allotments greater than 350m<sup>2</sup> is to be a minimum 25% of the site area.
- C3     The setting and curtilage of buildings of a civic character are to be retained through an appropriate use of hard landscape elements and plant species that respects the significance of the site.

### 3.1.2 West Woollahra precinct

The significant characteristics of the West Woollahra Precinct are:

- Its subdivision grid pattern of primary streets with secondary service lanes dating from the 1850s. The grids are generally rectangular, but are angled at their junctions with Jersey Road and Oxford Street.
- The retention of most of its original consistently narrow lots which run perpendicular to street frontages.
- A strong pedestrian character reflected in the narrow streets and intersecting lanes.
- A varied scale of consistently Victorian character generated by its mix of small- to medium-sized Victorian houses and different building types, some of which have new uses as shops:
  - individual single-storey houses, detached, attached or in small single-storey terrace groups. Some of these are very narrow with no setback from the street, while others have front verandahs and gardens.
  - variously sized groups of two and three-storey semi-detached and terrace houses. Generally, these houses are built with front verandahs and small front gardens, but some smaller examples are built to the front boundary with a cast iron palisade fence to the verandah at the boundary.
  - the sandstone and brick villas set back from the street boundary at the western end of Jersey Road. These are the largest single houses in the precinct and are surrounded by mature gardens, some with significant trees.
  - shallow lots with small houses facing rear lanes such as Bowden Street and James Street, which are the smallest in the area. These cottages are often of stone or painted timber construction and are rare within the HCA.
- A restricted palette of building materials and forms, typically:
  - external walls of painted stucco, sandstone or face brick. Many of the face brick houses in the precinct are the result of the inappropriate removal of an original painted stucco finish. The several painted timber-clad cottages are now rare in the conservation area.
  - steeply pitched roofs which were originally clad in slate, corrugated iron or (possibly) timber shingles. Some (but not all) terrace houses and cottages were designed with attic spaces and dormer windows.
- Its front fences, typically cast iron palisade fences set on sandstone or rendered brick bases. Some houses, depending on their style, size or age, have timber picket fences or sandstone boundary walls. Original front fences usually allowed views through to the house, but many have been replaced by high masonry walls which have a negative impact on the streetscape.
- Its street tree plantings, particularly the plane trees in Victoria Avenue, Wallis Street, Ocean Street and the western end of John Street.
- Culturally significant landscape elements located at the rear lanes, including paling fencing, pedestrian gates, Victorian brick toilets and backyard planting.
- Garages and carports located in rear lanes rather than along street frontages. The few garages facing primary streets are generally intrusive.
- Its mid-Victorian corner shops, many now converted to residences, and the small retail precincts in Ocean and Moncur Streets and late-Victorian hotels.
- Remnant light industrial buildings converted for retail use (but some such as the garage workshops in Oxford Street remain). A former inter-war garage in Wallis Street is a rare example in the HCA of a garage with residential flats above.

- The significant church in Jersey Road now converted to housing.
- A synagogue in Oxford Street.

### West Woollahra precinct controls

- C1 Two-storey additions to a single-storey building with a steeply pitched roof may occur at the rear, provided the addition is separated from the principal form by a light-weight single-storey link. The addition must be designed to respect and enable interpretation of the form of the original dwelling and must not be visible from in front of the dwelling.
- C2 Two-storey additions to a single-storey building with a parapet and skillion roof form may occur at the rear, provided the addition is separated from the principal form by a light-weight single-storey link. The addition must be designed to respect and enable interpretation of the form of the original dwelling and must not be visible from the public domain.
- C3 Original freestanding toilet structures to rear yards are to be retained in place if they are one of a group of at least two adjacent original toilets belonging to a significant group item.
- C4 The deep soil landscape area is to be
- a minimum 15% of the site area for allotments of 50m<sup>2</sup> to 500m<sup>2</sup>, and
  - a minimum 20% of the site area for allotments over 500m<sup>2</sup>.

### 3.1.3 Queen Street precinct

The significant characteristics of the Queen Street Precinct are:

- An informal 'town centre' focused around the intersection of Moncur and Queen Streets and containing the Woollahra Post Office and Woollahra Hotel.
  - A cohesive main street character that is a combination of significant retail and residential buildings, which generally retain their original features, from various historic periods, but predominantly Victorian and Edwardian, with some inter-war buildings.
  - Its significant retail buildings including:
    - groups of shops, sometimes in pairs, forming continuous but diverse street facades from the late-Victorian and Edwardian periods. Victorian buildings usually have parapet forms and painted stucco finishes, decorated with painted mouldings. Edwardian and inter-war buildings generally have face brick, although some have been painted.
    - individually designed two- or three-storey retail buildings with housing above from the late-Victorian period,
    - many retail buildings include original shopfronts or shopfronts which retain significant elements such as inset entrances, 'picture' windows, timber or brass framing, decorative tiles and glass. Some interiors are relatively intact.
  - Its significant residential buildings including:
    - single-, two- or three-storey terrace houses, in small groups or in runs of more than four, typically with small front gardens,
    - groups of small mid-Victorian cottages and large late-Victorian and Federation houses, some of which are attached, often set back from their boundaries with substantial gardens,
    - Queen Street Group: between Nelson Street and Ocean Street; a highly intact group of mid- to late-Victorian houses in varying sizes and styles including Victorian Gothic revival, Italianate and Victorian filigree. They have a restricted palette of materials: walls of stone or painted and rendered brick with roofs of slate,
    - small groups of three-storey inter-war flat buildings in face brickwork with decorative panels.
  - Its 'landmark' public buildings, including the former Masonic Lodge and ES&A Bank premises. Although the uses of some buildings have changed, their building fabric is still able to demonstrate their original functions.
  - Its distinct division into two sections reflecting the different stages of development on either side of Moncur Street.
- The western section has:
- a topography that slopes gently down from Oxford Street to Moncur Street.
  - retail and commercial buildings to both sides of the street, concentrated on the north with larger public and private buildings interspersed.
  - narrow, generally regularly sized lots containing terraces and shops of two or three storeys. Shops are generally built to the front boundary, while houses are generally set back behind a small front garden and fence.

The eastern section has:

- a relatively level topography.
- substantial street trees which provide a canopy over the street.
- a variety of lot sizes with smaller lots generally on the northern side of the street.
- shops generally built to the front boundary on the southern side of the street.
- houses on the northern side of the street are generally built close to the front boundary and have small front gardens. On the southern side, some houses are set back from the street boundary within large gardens.
- inter-war flat buildings near Ocean Street.

### Queen Street precinct controls

C1 Retail and commercial buildings are to:

- be of a traditional ‘main street’ form with shops at ground level and housing or commercial spaces above,
- be built to the street alignment and to side boundaries on all levels,
- be not higher than three storeys, the higher adjoining significant retail building or if no retail building adjoins, the predominant height of adjacent significant buildings,
- have a parapeted rectilinear form to Queen Street, and
- have facades that are modulated into vertically proportioned bays and openings that respect the scale, proportion and architectural character of adjacent significant retail buildings.

C2 When development is proposed to an existing building with an intrusive shopfront or fence, the intrusive elements must be replaced as part of the development. The replacements must match the proportions, heights and material type of the original but must be detailed in a contemporary manner.

C3 No new structures, other than a reconstructed fence, are permitted in the front gardens of any dwelling.

C4 The deep soil landscape area is to be:

- a minimum 15% of the site area for allotments of 350m<sup>2</sup> to 500m<sup>2</sup>, and
- a minimum 20% of the site area for allotments over 500m<sup>2</sup>.

### 3.1.4 Nelson precinct

The significant characteristics of the Nelson Precinct are:

- A relatively level topography with a steep drop to Edgecliff Road allowing many residential and institutional buildings along the ridgeline to gain views across the valley and Cooper Park to the east,
- The wide streets and groups of mature street trees, including figs, plane trees and eucalypts which are rare as street trees in the HCA,
- The historic tramway lines that are reflected in the road alignments at the junction of Queen Street with Edgecliff Road and the curtilage of Gaden Reserve,
- The remnant landscape features of the early houses, such as the gateposts of 'Heathfield', the terraces and retaining walls between Nelson Street and Edgecliff Road and the landmark Norfolk Island pine and fig trees associated with 'Brougham' (in Nelson Street) and 'Heathfield' (originally in Wallis Street)
- The remnant mid-Victorian residences in the precinct, 'Apheta', 'Brougham', 'Glenhead', 'Larissa' and 'Waimea', some of which have been adaptively reused and developed as institutional housing,
- Rare examples of Victorian planning which contrast with the linear Victorian planning common elsewhere in the conservation area:
  - **The Grove**, a small precinct linked to Queen Street by a leafy landscaped pedestrian way, with two-storey houses facing Queen Street and four Victorian Gothic Revival styled cottages at the rear.
  - **Woods and Waimea Avenues** in which groups of terrace houses are arranged with a sense of entry and a focus on the original house on the site.
- Significant Victorian housing including the following groups:
  - **Waimea Avenue**: two groups of six single-storey Gothic revival styled brick terraces [now painted], with repetitive roof forms [originally clad in slate], chimneys and scalloped timber bargeboards. The front elevations have either bay windows or small verandahs.
  - **Woods Avenue Group**: two groups of six single-storey Gothic revival brick terrace houses with either bay window fronts or small verandahs. Each has a steeply pitched roof (originally slate) with timber fretwork barge boards to the gables facing the street. There is also a group of four two-storey terraces with Flemish gables, rare in the HCA.
  - **Nelson Street**: a group of seven Victorian Italianate terraces.
- Inter-war buildings located on the terraced gardens of early houses in Nelson Street and in Edgecliff Road which are predominantly inter-war flat buildings characterised by:
  - hipped terracotta-tiled roofs or flat roofs, face-brick walls, often banded in contrasting colours with decorative detailing influenced by the eclectic styles of inter-war housing and brick front fences styled to match the building, or sandstone paving and garden beds contemporary with the flat building.
- Culturally significant buildings including:
  - **Emanuel Synagogue**, set back from Ocean Street behind a leafy forecourt. A landmark inter-war brick building, it is decorated with symbolic patterns, and cast stone panels with religious motifs in low relief on the front elevation. The adjacent Neuweg Chapel has details influenced by the original synagogue.

**Nelson precinct controls**

- C1 Remnant landscape features from the early significant housing estates including the mature trees, terraced gardens and front fences are to be retained.
- C2 Development of the early significant houses and their existing curtilages will be permitted where a CMP has been prepared for the landholding adopted by Council. The CMP must identify master planning options for sympathetic additional development that will not adversely affect the significance of the property or the precinct.
- C3 The existing public views of the principal forms and settings of the terrace groups in Waimea and Woods Avenue are to remain unaltered.
- C4 Additions to the dwellings in Waimea and Woods Avenue must not be visible from the public domain and must maintain the significance of the group.
- C5 The deep soil landscaped area of a significant house, located on a site at least 350m<sup>2</sup>, is to be a minimum of 25% of the site area.
- C6 The deep soil landscaped area of a house in the Waimea or Woods Avenue groups is to be a minimum 8% of the site area.
- C7 The deep soil landscape area of an inter-war flat building is to be a minimum of 15% of the site area.

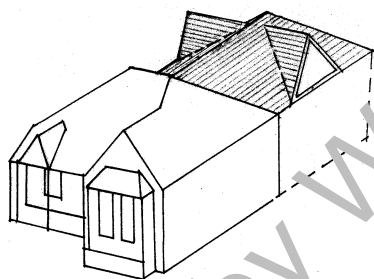
### 3.1.5 Harbour View precinct

The significant characteristics of the Harbour View Precinct are:

- A steep topography where the designs of the houses were not altered substantially to suit the levels, which results in repetitive stepping of the pitched roof forms in Bathurst and Edward Street. Where necessary, sites were terraced and the houses built high above the street on level sites contained by sandstone retaining walls. Narrow openings in these walls provide access to stairs leading up to front doors.
- Houses that represent the distinctive transitional architectural style of local builder Edward Knox Harkness, who combined elements of Victorian Gothic revival and Federation detailing in dwellings that were built in small cohesive groups.
- A variety of forms of detached, semi-detached and single-storey terrace houses that, through their restrictive palette of materials and distinctive decorative detailing, create a very consistent architectural group. The decorative details were applied to the range of house forms in a variety of combinations to achieve interest in the streetscape. The detached and semi-detached houses often contain projecting front rooms with gables facing the street. The terrace houses sometimes include small projecting bays to their front facades.
- Houses that incorporate the following elements :
  - steeply pitched roofs clad in terracotta Marseilles tiles or slate or a combination of the two materials. Chimneys are tall with terracotta pots.
  - face brickwork [now often painted] and decorated with a combination of Victorian Gothic inspired timber fretwork and stucco moulded details.
  - timber posts, ornamental brackets and valances (often in cast iron filigree) and front verandahs or porches with small roof bays or gables.
  - vertically proportioned windows with double hung painted timber sashes being most common
- The streetscapes with their high aesthetic values enhanced by the central tree plantings in Magney, Harkness, Russell and Edward Streets,
- The centrally located 'Harbour View Park' that is an integral part of the Harbour View Estate development and retains retaining structures from the initial period of development.

### Harbour View precinct controls

- C1 The repetitive rhythmic roofscape of dwellings is not to be broken by additional development, visible from the public domain.
- C2 Two-storey additions may be permitted behind the gable styled residential buildings if:
- the addition is 300 mm below the height of the main ridgeline and is located totally behind the principal roof form,
  - the addition incorporates gable styled dormers.
- C3 Decorative coffered ceilings to the rooms located within the principal roof form are not to be removed to incorporate an additional storey within the existing roof form.
- C4 Where ground floor levels of houses are set on retained land at consistent levels, new development is to respect the existing pattern of levels in the streetscape.
- C5 The deep soil landscaped area is to be:
- a minimum 12% of the site area for allotments of 225m<sup>2</sup> to 350m<sup>2</sup> a minimum 20% of the site area for allotments over 350m<sup>2</sup>.



**Figure 3.1** Gabled styled dormers may be permitted if the second storey is located totally behind the principal roof form.

### 3.1.6 Fletcher precinct

The significant characteristics of the Fletcher Precinct are:

- Topographically, a plateau above Cooper Park that slopes slightly to the precinct's western boundary at Bathurst Street. The wide streets and elevated position allow the penetration of sunlight to private and public space,
- An original Victorian rectangular grid street layout, with rear access lanes and rows of long narrow lots which run perpendicular to street frontages. The grid is separated by the site of the former Fletcher Foundry. The grid ends abruptly at its border with Cooper Park from which winding pathways drop dramatically to the gully.
  - short streets run north - south from Fletcher Street to the boundary of Cooper Park, with houses in these streets addressing the street not the park,
  - no rear lane occurs between Fletcher and View Street. Instead the lots run from one street to the other resulting in groups of houses facing Fletcher Street sitting beside the rear boundaries of houses facing View Street,
  - street corners are often defined by the side elevations of houses, the result of the subdivision pattern. Typically, these long, painted masonry elevations have few windows.
- Instances of divided streets, with the upper level running on an exposed sandstone bedrock shelf or above a sandstone retaining wall which results in some:
  - sections of footpath raised above the street.
  - houses set above the street on level terraces retained by sandstone or brick walls, with a narrow opening allowing access up to the front door.
  - culturally significant sandstone kerbs and gutters.
- Views to Cooper Park that can be gained from the pedestrian Adelaide Parade, and from Adelaide, Raine and Short Streets. Fletcher and View Streets provide long vistas across to Victorian villas and early pine trees in Edgecliff Road as well as to Sydney Harbour beyond.
- The eastern and western sections of the precinct, divided by Reddam House, and Holy Cross College Primary School, which occupy part of the original site of Fletcher's Foundry,
  - the western streetscapes of Fletcher Street and View Street are characterised by
    - single-storey Victorian and Federation houses, some combined in consistent groups of detached, semi-detached or terrace houses with occasional two-storey Victorian dwellings.
    - cohesive rows of Victorian and Federation terrace houses in Adelaide Street.
    - houses on the northern edge, in Adelaide Parade and some in View Street are oriented to face the view rather than the street,
    - recent intrusive developments in Fletcher and View Streets, have included garages to the main street frontage, or rear additions of inconsistent architectural style, orientated to the view and the northern aspect.
  - the eastern end of the precinct retains individual single-storey cottages and terrace-like forms and small groups of two-storey terrace houses. Small single-storey timber and stone cottages from the Victorian and Edwardian periods are rare in the HCA.

- The southern boundary of the precinct formed by Edgecliff Road and characterised by single-storey and two-storey Victorian and Federation housing, some in semi-detached pairs, or small groups and a group of commercial buildings near Grosvenor Street. This section also includes several inter-war flat buildings.
- The precinct's significant buildings that vary in architectural style, type, height and scale. This variety demonstrates the gradual nature of the phases of development in the precinct during the late-Victorian, Federation and the inter-war periods.
- A limited palette of dwelling materials and details including:
  - dwellings with dark dry-pressed face brick walls with a combination of moulded detail and timber fretwork or painted stucco with moulded Italianate details, cast iron filigree fringes and valances. Some combine Victorian and Federation detailing in a transitional style representative of the turn of the 20<sup>th</sup> Century.
  - a small number of houses, now rare within the precinct, with sandstone walls or are clad with painted timber weatherboards.
  - roofs that are generally steeply pitched and clad with slate, terracotta tile or corrugated iron roofs, depending on architectural style and period of construction.
  - inter-war flat buildings with face brick, usually without decorative brickwork panelling with terracotta tiled roofs.
- Original low front fences typically in the style of the dwellings allowing views through small gardens to the dwellings and that are either:
  - cast iron palisades on sandstone or rendered brick bases, or timber picket fences to the Victorian and Edwardian dwellings, or
  - low masonry fences to inter-war period flat buildings.
- Retail buildings including remnant corner shops typical of a Victorian subdivision and now converted to form residences. Along Edgecliff Road, some Victorian houses have been altered to form shops and commercial premises. Some Federation and inter-war buildings were specially designed for the purpose.
- Culturally significant buildings including the synagogue in Fletcher Street, Seventh Day Adventist Church and the Holy Cross School in Edgecliff Road.

### Fletcher precinct controls

- C1 Where the rear of a property faces a primary street (such as between Adelaide Parade and View Street and Fletcher and View Streets) a single carparking space is permitted at the rear of the property only if
- a cross over exists,
  - the rear of the dwelling is at least 10m from the rear boundary,
  - the property is at least 5.2m wide,
  - the fence and portal to the car parking space are designed in accordance with the criteria for a single carport in sub-clause 3.4.9, with a single pedestrian gate and:
  - a pedestrian gate is adjacent to a minimum 0.5m wide deep soil landscaped area at the streetfront,
  - the vehicular gate must be at least 80% transparent.
- C2 Where the rear of a property faces a primary street (such as between Adelaide Parade and View Street and Fletcher and View Streets) development at the rear of the dwelling is to:
- be clearly secondary in form to the principal form of the significant building, or adjacent significant buildings,
  - be 300mm below the ridge of the principal roof form to a single-storey dwelling or less than the height of the principal eaves line if the principal form is a two-storey dwelling,
  - be limited to the rear setback consistent with the group of significant buildings to which it belongs or if an individual property, is to respect the consistent pattern of rear development in the vicinity,
  - be limited to the front setback of adjacent dwellings that face the other street front,
  - to maintain the side setbacks consistent with the group of significant buildings to which it belongs or, if an individual property, is to respect the consistent pattern of rear development in the vicinity,
  - to maintain storey heights consistent with the original rear forms adjacent,
  - to have a parapet roof form if the rear roof forms of the adjoining dwellings in the group to which it belongs are inconsistent in form.
- C3 Where no rear access lane exists and the rear of the dwelling is orientated to a street (such as Adelaide Parade, and Fletcher and View Streets) garages to the rear of lots are permitted only if:
- the rear of the dwelling is located at least 10m from a street front,
  - the width of the property is at least 12m,
  - the garage is clearly secondary in form to the main house so that adjacent houses fronting the street remain the dominant forms,
  - a maximum of two separated carparking spaces or garages without lofts are permitted if the fence and portals to the car parking spaces are integrated visually with the street wall and leave 50% of the width of the street frontage available for pedestrian access and for soft landscaping to be viewed above the wall in accordance with the criteria for a double carport in sub-clause 3.4.8 with a single pedestrian gate.

C4    The deep soil landscape area is to be:

- a minimum of 15% of the site area for allotments of 350m<sup>2</sup> to 500m<sup>2</sup>, and a minimum 20% of the site area for allotments over 500m<sup>2</sup>.

### 3.1.7 Grafton precinct

The significant characteristics of the Grafton Precinct are:

- The strong definition of its boundaries by the historic Grafton Estate northern boundary at Edgecliff Road and the dominant form of Syd Einfeld Drive to the south
- The Victorian street pattern grid of the original Grafton Estate subdivision remains with long, narrow lots, which are laid out on an axis perpendicular to Edgecliff Road, but are in contrast to the eastern end [from Adelaide Street] which shows the later subdivision of the former Adelaide Brewery site
- The topography slopes from south to north, creating streetscapes with repetitive stepped roof forms
- The combination of residential, retail and commercial uses in building originally designed only for residential use near the Bondi Junction shopping centre give the Grafton precinct a more urban character than most of the HCA
- Its residential architecture, which is dominated by a variety of housing types from the late-Victorian and Edwardian periods, with some inter-war housing includes:
  - single-storey houses with small front verandah and a variety of roof forms including hipped or gabled roofs or skillion roofs behind parapeted front elevations
  - two-storey terrace houses with verandahs set behind palisade fences with small gardens, are often in small groups
  - three-storey terrace houses, which are rare within the precinct
  - inter-war flat buildings
- The differing architectural forms, styles and scale of the houses, and the variety of groupings within the precinct, illustrate the gradual and erratic nature of development of the Grafton Estate.
- The restricted palette of construction materials and details, which are generally identifiable as Victorian, Federation, or transitional:

#### Victorian

- masonry walls with painted stucco, vertically proportioned timber double-hung windows, moulded cement render detailing, decorative cast iron filigree to balconies and verandahs with steeply pitched slate roofs,
- painted timber weatherboards, vertically proportioned timber double-hung or casement windows
- timber and cast iron filigree detailing to verandahs and balconies, steeply pitched corrugated iron roofs.

#### Federation

- unpainted dark face brick walls, painted vertically proportioned timber double-or casement windows and timber fretwork decoration to verandah roofs,
- roofs are hipped or gabled forms with terracotta Marseilles tiles.

**Inter-war flat buildings**

- walls: face brickwork with patterned or polychrome details and stepped parapets influenced by Art Deco architecture.
- altered buildings have painted rendered walls, terracotta tiled roofs and double hung painted timber sash windows.
- The typical cast iron palisade fences set on sandstone or rendered brick bases, although some houses, depending on their style, have timber picket or brick fences. Residential flat buildings in the Grafton Precinct are generally built to the street alignment or are set behind sandstone walls which retain narrow garden beds.
- The retail centre along Edgecliff Road, including corner shops from the Victorian period and commercial buildings from the inter-war period.
- The significant public buildings including the Holy Cross Catholic Church, Paddam House school, formerly Holy Cross College and the synagogue and Jewish community centres in Saber Street..

**Grafton precinct control**

C1 The deep soil landscaped area is to be:

- a minimum of 15% of the site area for allotments of 350m<sup>2</sup> to 500m<sup>2</sup>, and
- a minimum 20% of the site area for allotments over 500m<sup>2</sup>.

### 3.2 Significant items and group significant buildings

#### Explanation

Significant items are those features that contribute to and exemplify the heritage significance of the HCA and are identified as heritage items and contributory items. Heritage items are listed in Woollahra LEP 1995. Contributory items are buildings, structures, landscape elements and other townscape features (such as historic kerbs, gutters and street name inlays) that contribute to the overall heritage significance of the HCA, but are not listed as individual heritage items. Significant items are listed together in part 5 and are indicated on the individual precinct maps in Appendices E - I.

When a property has been identified as a *significant item*, the listing includes all original fences, landscaping, trees, gardens and outbuildings as well as any building. This plan therefore includes objectives and controls that apply to these important elements of the buildings' settings.

If a significant item is one of the key contributory building types described in clause 3.3 of this plan, the building type controls set also apply.

All properties are also subject to the general controls set out in clause 3.4.

### 3.2.1 Conservation of significant items and group significant items

#### Explanation

Many types of significant buildings and landscape elements remain in the HCA that represent all phases of the area's development. In order to retain the heritage significance of the area it is important to retain the principal building forms of the significant buildings and the original landscape structures. The original front building section under one roof, known as the principal building form in this plan, contains the main rooms of the building and commonly faces the streetfront, with a secondary section behind, sometimes separated by an accessway. The principal building forms of the various building types are described in clause 3.3.

Some sets of similar significant items contribute as a group to the heritage significance of the HCA. Where a building belongs to a group of similar items, it is important that alterations and additions do not compromise the character of the group as a whole. The original consistency of the streetfront elevation should be retained and conserved, and so should that of side and rear elevations where these are visible from the street or other public places.

#### Objectives

- O1 To ensure those significant items, outbuildings and their outbuildings and settings are retained.
- O2 To ensure that the distinctive shared characteristics of significant groups of buildings are retained and enhanced.
- O3 To ensure that alterations and additions within a significant group conform to the shared characteristics of the group and do not compromise its integrity.
- O4 To ensure that alterations and additions to heritage items are to be undertaken in a manner that retains their heritage significance.

#### Controls

##### Significant items

- C1 Significant items are to be retained and conserved, that is:
  - their significant fabric is to be retained
  - original principal building forms (including roof pitch, eaves height and chimneys), are to be retained
  - no alterations or additions are to be made to the original elevations, details, materials or finishes of the principal building form except to allow for restoration or reconstruction
  - original verandahs and balconies are not to be infilled or enclosed
  - original room layouts of the principal building forms are to be retained.
- C2 Partial demolition of internal cross walls to the principal building form will only be permitted where:
  - the original room layouts are able to be interpreted
  - the main rear wall to the principal building form remains
  - the structural integrity of the building and its adjoining buildings are not compromised;
  - there is no increase in light levels at the front windows when viewed from the public domain.

- C3 When works are proposed to the principal building form, original external elevations, roof, curtilage or setting of significant items:
- missing or damaged original forms, details, materials and finishes are to be restored or reconstructed. Reconstruction is to be based on research rather than conjecture.
  - inappropriate or intrusive forms, details, materials and finishes are to be removed.
  - original coach houses, stables, garage buildings and other original outbuildings significant to the site are to be retained in place.
- C4 Remnant elements of the settings of significant items, including but not limited to gardens, mature trees, archaeological deposits, original front fences, pathways, and contributory landscape elements are to be retained, whether or not they are located on the same site as the item.

#### Group significant items

- C5 The distinctive original shared characteristics of a significant group of buildings are to be retained, including:
- existing patterns of principal roof forms within unaltered groups of significant items
  - secondary or rear forms, which must not be raised or altered if the rear forms are part of a group of similar roof forms.
- C6 Where a building is one of a group of similar attached significant items, the design of additions must:
- not compromise or dominate the group as a whole
  - be consistent with the form and pattern of original roof forms of the adjoining significant items
  - be consistent with the form, symmetry, breezeway pattern and rhythm of the original rear wings of the group as a whole and must not visually disturb the cohesiveness of the group
  - elevations should have solid to void ratios that are consistent with the group
- C7 Intact or largely intact side elevations of buildings in significant group items joined by party walls are to be retained in their original configuration where these are visible from the public domain. Minor alterations to parts of these side elevations may be permitted if they do not impact significantly on the original architectural form of the elevation or the pattern or proportion of openings.
- C8 Where works are proposed to individual buildings within a significant group missing or damaged original forms, details, materials and finishes are to be restored or reconstructed to reinstate the original shared characteristics of the group as a whole, particularly where visible from the public domain. Exceptions may be allowed where the original forms, details, materials or finishes of the entire group have previously been changed and reinstatement of the original would disturb the cohesiveness of the group.

### 3.2.2 Original materials, finishes and colours

#### Explanation

Buildings in the HCA have a variety of external finishes characteristic of particular architectural styles, building types or periods of construction. Original materials and finishes are of heritage significance and contribute greatly to the style and character of individual buildings and to the character and significance of the HCA.

The character of many significant buildings in the HCA has been compromised by the use of inappropriate finishes and colour schemes, the removal of stucco to expose underlying brickwork and the painting, lime washing or rendering of original face brick or stone walls, and tiling. These changes have a particularly negative impact when the building that has been altered is one of a significant group and the other buildings in the group remain intact.

Refer to the table in sub-clause 3.4.5 for a listing of suitable and unsuitable materials and finishes.

#### Objectives

- O1 To retain and conserve original external finishes and colour schemes to buildings within the HCA.
- O2 To encourage finishes and colour schemes to additions to significant items to be appropriate to the building type, architectural style and construction period.

#### Controls

- C1 Surviving original external finishes and colour schemes to streetfront elevations, secondary elevations and building components of significant items are to be retained and conserved.
- C2 Any works must not damage or despoil the original materials of a significant item or place within the HCA. Unpainted brickwork, sandstone, terracotta, glazed or tessellated tiling are not to be painted, rendered, bagged or otherwise re-finished in a manner inappropriate to the architectural style of the building.
- C3 External finishes to additions to significant items must complement the architectural style of the existing building.
- C4 External colour schemes to significant items should have hue and tonal relationships similar to those of traditional colour schemes, although it is not necessary that they be finished in a 'heritage' colour scheme.
- C5 Where buildings in a significant group share the same original external finish all buildings within the group must have a similar finish.

### 3.2.3 Alterations and additions to significant items

#### Explanation

Building setbacks, the degree of site coverage, building height, building form and the level at which a building is located on its site vary according to lot size, building type, historic context and topography. This variety is an important aspect of the aesthetically significant visual complexity of the HCA.

The controls are also designed to ensure that alterations and additions to a significant item retain the contributory features and characteristics of the building and the streetscape in which it is located. It should, however, be possible on close inspection to tell new work from old.

Refer to Building Type Controls for more specific controls in clause 3.5 and the General Controls in clause 3.4.

#### Objectives

- O1 To retain the original built form characteristics of significant items.
- O2 To ensure alterations or additions to a significant item are designed:
  - to be consistent with the original architectural style, form, massing, details, materials and finishes of the item,
  - not to have an adverse impact on the curtilage and setting of the item.
- O3 To ensure that the various heights and setbacks of significant buildings within the streetscape are retained.

#### Controls

##### Contemporary design

- C1 Where existing fabric is intrusive or of low significance, sympathetic contemporary design may be permitted at the rear, provided:
  - the proposal will achieve a cohesive relationship between new and existing fabric
  - the designer can demonstrate that the proposal is consistent with the character of the site, the streetscape and the precinct in which it is contained.

##### Location of additions

- C2 Additions to significant items are not to project forward of the original front building setbacks nor obscure the public view of the principal building form of the item.
- C3 Additions to significant items are to be located at the rear of the building.
- C4 Additions to significant items are to match the predominant rear setback of the adjacent buildings and the relevant historic development pattern.
- C5 Side additions must be located behind the principal building form, be separated from the front principal building form by a lightwell and be shorter than the existing rear wing.
- C6 Excavation for basement levels will not be permitted below significant items or in their gardens unless the site slopes to the rear and a basement level can be achieved by excavating no deeper than 1.5 metres. The outer edge of excavation piling and all sub-surface walls must be not less than 1.5 metres from any boundary. No excavation is permitted where underpinning of significant fabric would be required.

**Height, form, bulk and scale**

- C7 The bulk, height and scale of additions to significant items must be less than, and must not compromise or dominate the principal building form of the building.
- C8 Upper storey additions that increase the building height of significant items along the street frontage will not be permitted. This applies whether or not a single-storey building adjoins or is located between significant buildings of greater height.
- C9 Alterations and additions to significant items are not to match a building that is excessive in terms of its bulk, height, scale or incompatible design.

### 3.2.4 Traditional building elements

#### Explanation

The great variety in form and detail of roofs, windows, shutters and external doors in the HCA makes a significant contribution to the architectural complexity of the Area as a whole. The styles of these important building components are strongly related to the architectural style and period of construction of the buildings to which they belong.

Late 19th-century and early 20th-century windows were usually rectangular in shape and vertically proportioned. Where a larger opening was desired, windows were set in groups. Many buildings obtain visual interest from verandahs and balconies, which create a strong pattern of light and shade by their projection, covering roof and detail decoration.

A table of traditional building element materials and recommended replacement materials is included in sub-clause 3.4.5.

#### Objectives

- O1 To retain the original building elements of significant items and, where original elements are missing, to encourage their reinstatement.
- O2 To ensure that alterations and additions to significant items incorporate building elements that are compatible with traditional built forms and do not adversely affect the heritage significance of the building or its surroundings.

#### Controls

##### Roofs and chimneys

- C1 The original forms, materials, finishes and details to the roofs and chimneys of significant items are not to be removed, except to allow for their conservation and maintenance. Additions at the rear are to retain all existing chimneys.

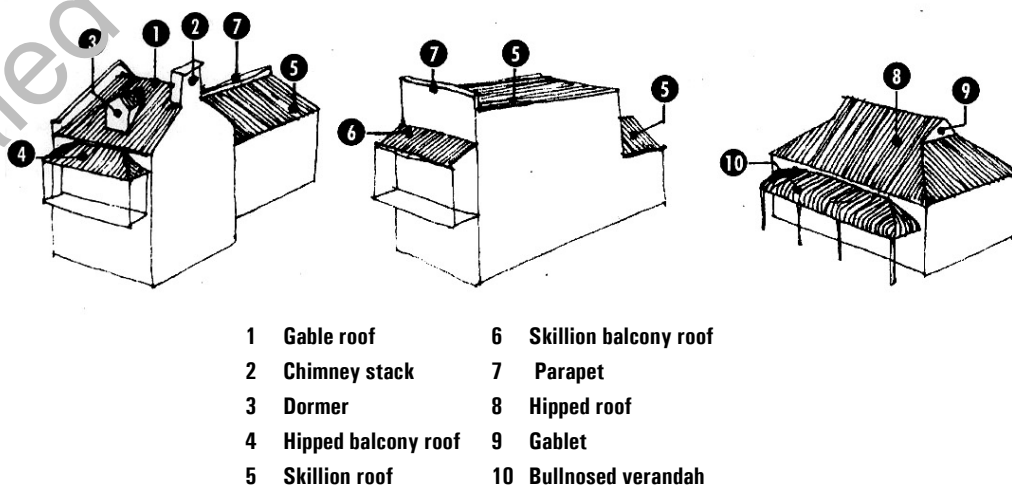
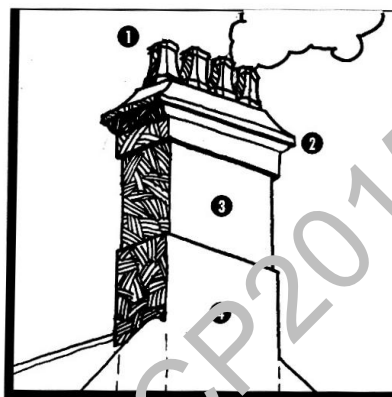


Figure 3.2 Traditional roof elements.

- C2 When original roofing materials to significant items are deteriorated, they are to be replaced by the same or similar materials and details. Gutters and downpipes are to be of traditional profiles and materials.
- C3 When a building has been re-roofed with inappropriate materials and the roofing is to be replaced, cladding and details are to be the same or similar to original materials appropriate to the architectural style, building type and construction period of the building, except where changing the roofing material would have an adverse impact on a significant group as a whole.
- C4 Additions to significant items are to have traditional roof forms clad in traditional materials appropriate to the style of the building.

- 1 Chimney pot
- 2 Coped and moulded cornice
- 3 Shaft
- 4 Stump



Typical chimney

**Figure 3.3 Typical chimney stack.**

### Dormers

- C5 Dormer windows will not be permitted to street front elevations of significant items or to the parts of side elevations visible from the public domain, unless physical or documentary evidence shows that a dormer or dormers existed in these locations as part of the original design of the building.
- C6 A dormer or dormers may be inserted into the rear roof plane of a significant item or to the roof of an additional pavilion form if this would have no impact or a negligible impact on the heritage significance of the building or (if the building is a member of a significant group) of the group.
- C7 Where new dormer windows are permitted to significant items or their additions, the design, proportions and materials must be based on traditional models and be appropriate to the architectural style, building type and construction period of the building as well as the historical background and physical context of the precinct.

### Dormers to Victorian period cottages, semi-detached dwellings and terraces

- C8 A single dormer must not exceed one-third of the width of the roof or 1500 mm, whichever is less.
- C9 More than one dormer window may be located within the rear slope of the main roof of a significant item if the width of the roof is greater than 6 metres and subject to consideration of the impact on the heritage significance of the item and (if the item is a member of a significant group) of the group.

- C10 The height of a dormer window, excluding its pediment, is to be 1.4 times its width. The top of the dormer window, including its ridge and pediment, must be lower than the main roof ridge by at least 300 mm.
- C11 The pediment of a dormer window must be infilled with timber weatherboards. Depending on the building's architectural style and context, the cheeks of dormer windows may be covered in timber weatherboards or in corrugated steel sheeting of traditional profile. Dormer windows, where permitted on street front elevations, are to be traditional timber double hung sashes or casements.

- 1 Dormer roof
- 2 Pediment
- 3 Lintel
- 4 Pilaster
- 5 Double hung window
- 6 Sill
- 7 Cheek
- 8 Flashings

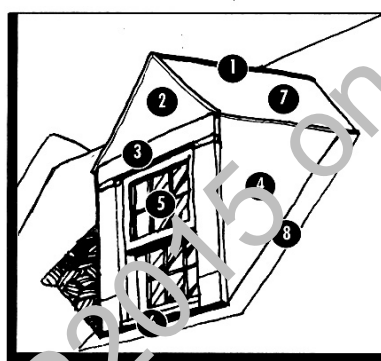


Figure 3.4 Typical Victorian dormer window.

#### Dormers to Federation period cottages, semi-detached dwellings and terraces

- C12 Dormers to Federation period significant buildings should be appropriate to the architectural style. Horizontally proportioned dormers with casement windows are permitted with 'eyelid' or hipped roof forms, the top of which must be located at least 600mm below the main roof ridge line. Horizontally proportioned dormers are limited to 2.2m in width and the window area to a maximum height of 1m, or an overall height of 2.2m dependant on the type.
- C13 Gabled dormers with casement windows may be permitted up to an overall width of 1.5m and a maximum height of 2.2m. The gable form should match the principal roof form and its top must be located at least 300mm below the principal ridgeline. More than one dormer may be permitted if the roof is wider than 6m.

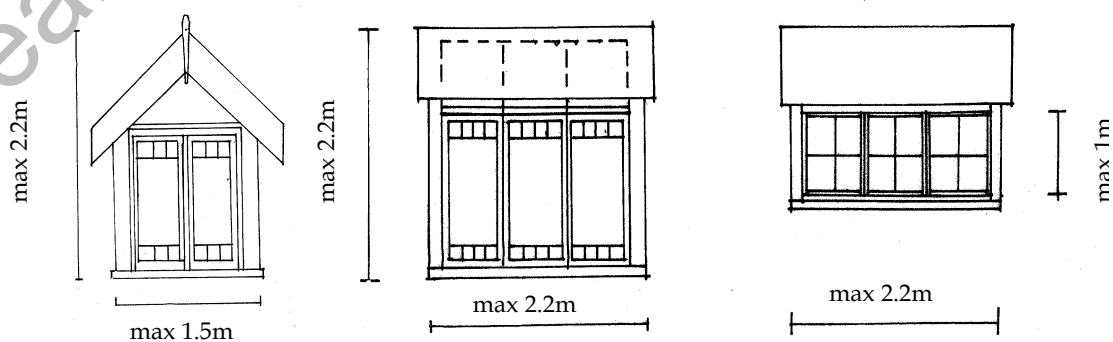


Figure 3.5. Typical dormers to Federation period cottages, semi-detached dwelling and terraces.

### Modified dormers

C14 A dormer window to a significant item may incorporate doors provided:

- it is not visible from the public domain
- there would be no impact on the heritage significance of the adjacent buildings,
- there would be no adverse impact on the amenity of adjoining properties, and
- the traditional dormer form remains visible in a traditional location within the roof, with inward opening casement-styled doors with transoms at the traditional sill height of a dormer window, and a balustrade located in the same plane as the door frame, allowing a person to stand at, but not beyond the door opening.

### Contemporary styled dormers

C15 A contemporary styled dormer may be permitted to the rear roof plane of an individual building where:

- it would not be visible from the public domain
- there would be no impact on the heritage significance of the adjacent buildings
- traditional forms that relate to the architectural style of the building are preferred

C16 A Juliette balcony, limited in area by a maximum width of 1.5m and depth of 800mm, may be incorporated with a contemporary styled dormer if there would be no adverse impact on the amenity of adjoining properties or on the heritage significance of the adjacent buildings.

### Windows, shutters and doors

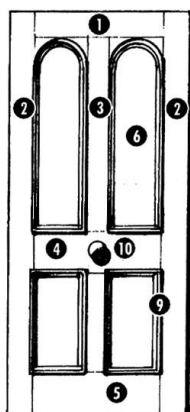
C17 Original windows, shutters and external doors to significant items must not be removed except to allow for their conservation and maintenance.

C18 Where replacement windows, shutters and external doors are proposed to original openings to significant items, materials similar to the original. Details are to match the original where this is known; otherwise it should be appropriate to architectural style, building type and construction period.

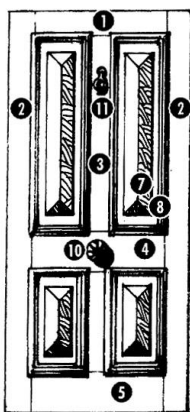
C19 External shutters are not to be added to original windows and doors of significant items unless they were features of the original design of the building.

C20 Windows, shutters and external doors to additions to significant items are to be designed with contemporary detailing and materials appropriate to the architectural style of the existing building and the proportions of its openings. The height of a new window must be greater than 1.4 times the width and less than twice the width.

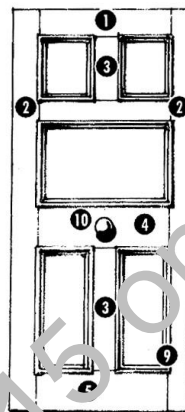
TYPE A – MID VICTORIAN



TYPE B – LATE VICTORIAN



TYPE C – EDWARDIAN



DOOR TYPES

- 1 Top rail
- 2 Stile
- 3 Muntin
- 4 Muntin rail
- 5 Bottom rail
- 6 Sunken field panel
- 7 Raised field panel
- 8 Collection mould
- 9 Lamb's tongue mould
- 10 Knob
- 11 Knocker

Some common examples of front doors are shown. All are panelled doors with stiles and rails. Type A and Type B are four panel doors, while Type C is a single-waisted Edwardian door.

Figure 3.6 Door types.

### Verandahs and balconies

- C21 Original verandahs and balconies are not to be altered except for the reinstatement of original details and the reversal of unsympathetic alterations.
- C22 Where evidence shows that they have previously existed on streetfront elevations, verandahs and balconies may be reinstated using traditional materials and details.
- C23 The addition of balconies to the roofs of significant items will not be permitted except where Juliette balconies may be permitted by C16
- C24 The step down from the main roof to the verandah roof must be retained or reinstated where a new or replacement or reinstatement of a verandah on the streetfront elevation is proposed.



- 1 Ogee gutter
- 2 Timber mouldings
- 3 Cast iron lace frieze
- 4 Hand rail
- 5 Cast iron lace balustrade panel
- 6 Balcony timber floor
- 7 Bead moulding
- 8 Dentils
- 9 Stop-chamfered verandah beam
- 10 Cast iron frieze panel
- 11 Stop-chamfered frieze
- 12 Cast iron lace frieze
- 13 Cast iron bracket
- 14 Fin wall

Figure 3.7 Typical Victorian terrace verandah elements.

### 3.2.5 Significant landscape elements

#### Explanation

The original garden designs and plant selections of Woollahra's significant buildings varied according to their building type and period of construction. The HCA's remaining traditional planting schemes, early plants and trees make an important contribution to its character and significance.

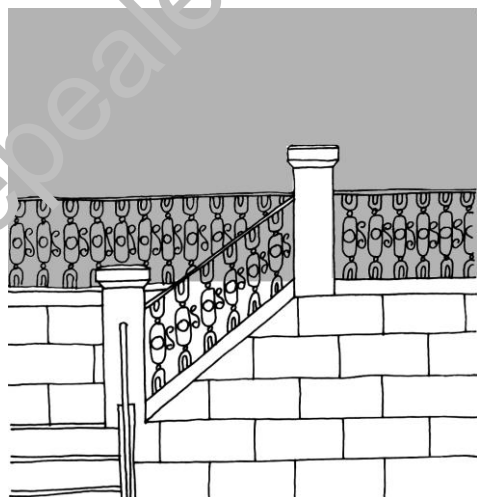
A schedule of appropriate tree species is included in sub-clause 3.4.6.

#### Objectives

- O1 To retain the significant trees and landscape elements of significant items
- O2 To encourage landscaping to be appropriate to building type and period of construction and to contribute to the character of the HCA.

#### Controls

- C1 Trees listed as heritage items and significant cultural plantings (whether identified as significant items or not) on private land are to be retained in place and incorporated into any proposed landscape treatment.
- C2 Original and early built landscape elements of the yards and gardens of significant items (including terraces, steps, pathways, front and side fences and outbuildings) are to be retained in place.
- C3 Where new landscaping is proposed to the private open space of significant items, landscaping styles and plant species must be appropriate to building type and construction period.
- C4 When it is visible from the public domain, landscaping to the private open space of significant items is to be set at the original garden level or at existing ground level.
- C5 New landscaping must not include species that screen the principal elevation of a significant item.
- C6 Contributory and characteristic streetfront gardens are to be retained.



**Figure 3.8. Remnant built landscape elements may be fences from previous buildings**

### 3.2.6 Original fences, gates and retaining walls

#### Explanation

In the Woollahra HCA, the majority of houses with a setback from the street originally had a front fence. As well as fulfilling a practical role, the fence presented the house to the street and allowed passers-by to obtain glimpses through or over, the fence towards the building, veranda, or front garden behind.

The materials and designs of the front fences in the HCA vary widely according to architectural style, building type and construction period. Original front fences or replacement fences of appropriate materials and design will complement and enhance the character of a building, while inappropriate fences will diminish the appearance of a house and streetscape.

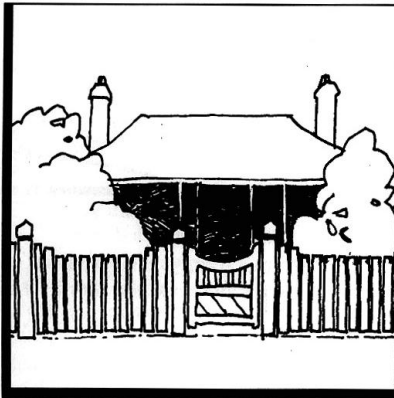
The general objectives and controls for fences, gates and retaining walls are in sub-clause 3.4.7.

#### Objectives

- O1 To retain and conserve original fences, gates and retaining walls to significant items.
- O2 To retain and conserve original sandstone retaining walls that are characteristic of the precincts within the HCA.

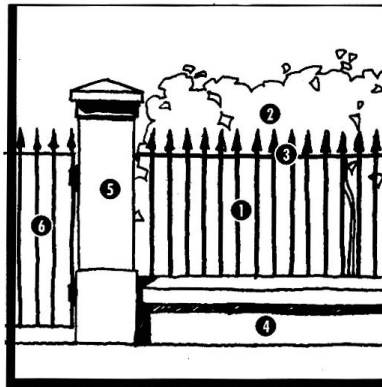
#### Controls

- C1 The configuration, forms, materials, finishes and details of original fences, gates and retaining walls to significant items are to be retained in place and are not to be altered except to allow for their maintenance or conservation even if the building with which they were originally associated has been demolished.
- C2 The configuration, finishes and details of original sandstone retaining walls that are located at the street front boundaries (whether identified as significant items or not) are to be retained and conserved.
- C3 Breaching an original sandstone or brick wall or fence to incorporate an opening for parking is not permitted.
- C4 Sheet metal fencing, exposed concrete block fencing and aluminium versions of iron palisade fences are not permitted.



#### PICKET FENCE

Early Colonial and Edwardian buildings are associated with timber picket fences. Picket designs varied from Colonial times through to Edwardian times from small rounded tops, to scalloped, spear-ended and flat tops.



#### PALISADE FENCE

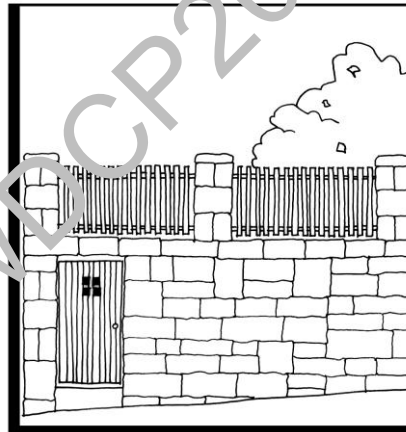
Detailing of iron palisade fences varied from Colonial to early twentieth century times.

- 1 Iron palisade bar
- 2 Iron spearhead top
- 3 Top rail
- 4 Coped masonry plinth
- 5 Masonry pier
- 6 Iron gate



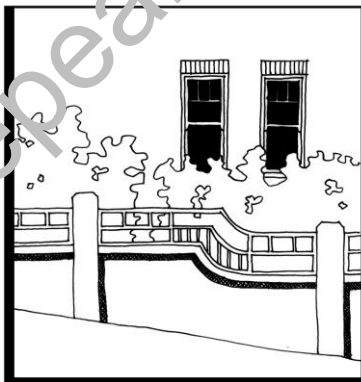
#### BRICK FENCE

Inter-war houses and blocks of flats often have brick fences with iron detailing in a style to match the building behind.



#### SANDSTONE RETAINING WALL

Many houses of the federation and Inter-war periods had sandstone front fences or retaining walls.



#### BRICK AND TIMBER FENCE

Brick fenced with painted timber decorative detailing more common during the federation period.

Figure 3.9 Typical original fencing types.

### 3.2.7 Original garages

#### Explanation

Although large houses may have had stables or coach houses, garages, carports and on-site parking areas for motor vehicles were not elements incorporated into Victorian or Federation buildings and their sites. The garage emerged as a building type only with the introduction of the motor car just before World War I. Where these ancillary developments remain, they should be conserved.

The general objectives and controls for parking and garages are in sub-clause 3.4.9.

#### Objective

- O1 To retain and conserve the original coach house and stable structures, from the Victorian and Federation periods and original detached garage buildings of inter-war houses and flat buildings.

#### Controls

- C1 Original garages, coach houses and stables must be retained and conserved.
- C2 Original doors to garages that are contemporary with the construction of a significant item are to be retained and conserved where possible. Where new doors must be added to early garage structures, they are to be appropriate in colour, materials and detail to the original garage building and the significant item with which it is associated.

### 3.3 Building type controls

The area has a rich diversity of building types that include examples of the contrasting scale of the housing of Woollahra's social mix since the 1840s. All major architectural styles from each period exist throughout the area demonstrating the continuing process of development that contributes to the area's heritage significance.

The residential buildings range from small Victorian workers cottages and terraces, to villas and grand mansions from the large estates of the gentry. The boom style terraces of the 1870s and 1880s are similar to those in Paddington, but built in smaller groups. The late subdivision of the Cooper Estate is dominated by Edwardian cottages, semi-detached cottages and small groups of terraces often built with Victorian stylistic influences. Inter-war houses and flat buildings of every major style are concentrated in the subdivision of the earlier estates. Further consolidation occurred in the 1960s, 1970s and 1980s with high rise flat buildings and small groups of town houses. Several excellent examples of contemporary infill dwellings co-exist throughout the area.

The public buildings include two schools, post office, former Council Chambers, and fire station from the Victorian and Edwardian periods. The hotels date from the Victorian and inter-war periods. The religious buildings include Victorian, Federation and inter-war churches and synagogues. The retail buildings include the special precinct in Queen Street and smaller groups in Ocean Street and Edgecliff Road with single shops occurring throughout the HCA.

The following parts provide a brief explanation of each significant building type with objectives and controls for alterations and additions that retain the principal building form of each building as illustrated below. Clauses 3.1, 3.2 and 3.4 also apply.

### 3.3.1 Single-storey houses

#### Explanation

Single-storey houses include stone, brick and weatherboard cottages and semi-detached cottages and terraces. The small timber and stone cottages are significant because of their rarity and their historical association with the evolution of Woollahra particularly in the mid-Victorian period. Most single-storey houses are built close to their side boundaries, which limits potential additions to the rear of the building or within the roofspace. Many are built to the street front whilst others have a small front garden and low masonry or picket fence.

Refer also to sub-clauses 3.3.3 and 3.3.4 for semi-detached cottages and terraces.

#### Objective

- O1 To preserve the single-storey presentation to the street of existing single-storey buildings.

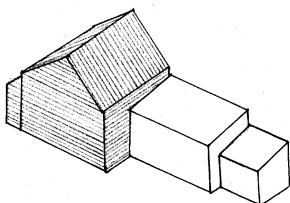
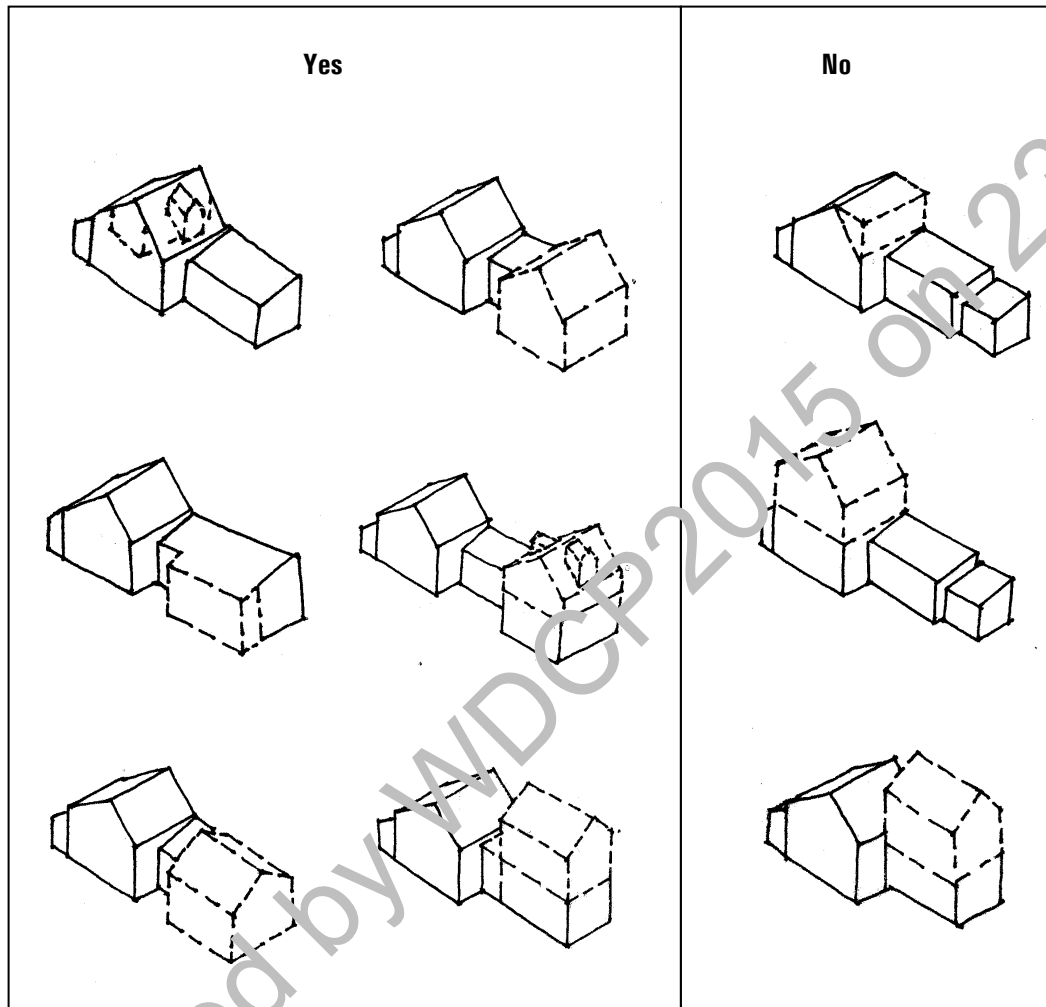
#### Controls

- C1 Upper floor additions to the principal building forms of single-storey houses will be permitted only where the upper floor can be contained wholly within the existing roof space without change to the roof pitch or eaves height. Dormer windows may be incorporated in the rear roof plane provided they comply with the controls in sub-clause 3.2.4.
- C2 Rear additions to single-storey houses should not dominate the principal building form. The addition should have an appropriate traditional roof form that relates to the principal building form and must not exceed a height 300mm below the ridge level of the principal building form.
- C3 Where additions are proposed to single-storey houses, pavilion-type forms are preferred unless the building belongs to a significant group and such a form would have an adverse impact on the group. The linking structure should be located below the principal eaves line, and should use lightweight construction to differentiate the new work from the original.
- C4 Boundary-to-boundary additions are permitted on the ground-floor if the proposal would not adversely affect the privacy, ventilation, light or amenity of an adjoining property.
- C5 Double-storey additions at the rear of single-storey houses are not to be visually disruptive as seen from the public domain. The two storey section should be linked to the principal building form by a lightweight link structure located below the eaves line of the principal building form.



Figure 3.10 Typical single-storey houses.

**Design suggestions for rear additions to single-storey houses.**



**Figure 3.11 Single-storey houses. Principal building form shown hatched.**

### 3.3.2 Free-standing multi-storey houses

#### Explanation

Freestanding multi-storey houses vary from small timber, stone or brick dwellings often with terrace like forms to larger villas and houses set within landscaped gardens. They include Victorian middle class villas, large Victorian mansions built on the original estates of the gentry and the later inter-war houses built on subsequent subdivisions.

A garden setting is usually associated with freestanding dwellings, with a fence to match the style of the dwelling. There may also be culturally significant outbuildings or landscape elements from previous estates.

#### Objective

- O1 To ensure that additions to multi-storey houses do not compromise or dominate the original main front section of the house, and are suited to the architectural style of the building.

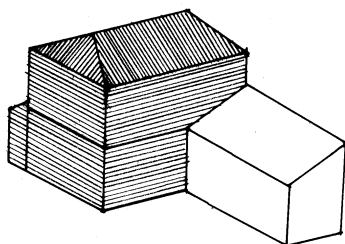
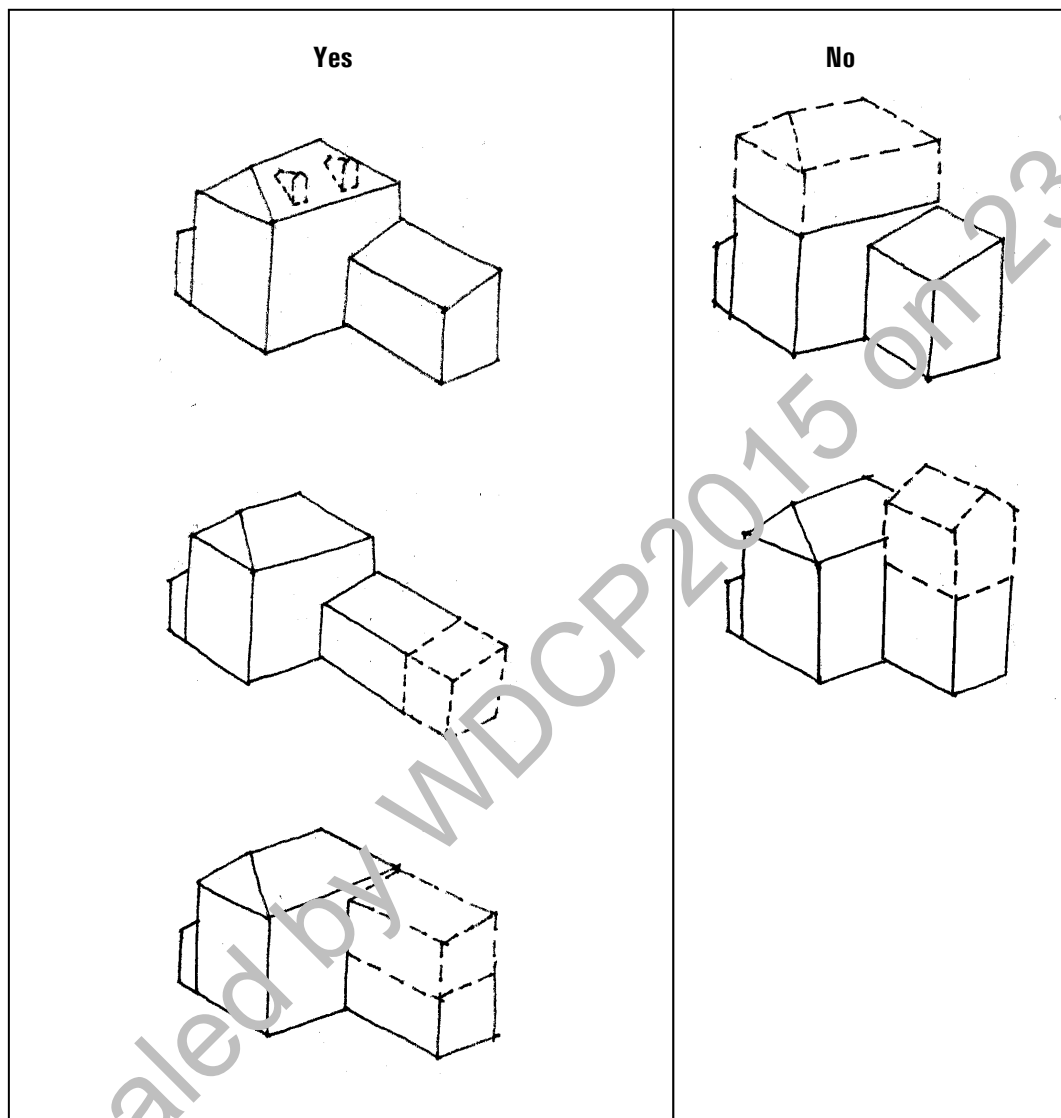
#### Controls

- C1 Where additions are proposed to free standing multi-storey houses, an increase in the number of storeys will be permitted only where the upper storey can be wholly contained within the existing roof volume of the principal building form. Appropriately styled dormers may be permitted in the rear roof plane of the principal building form if not visible from the public domain.
- C2 Additional storeys may be permitted to the rear wing, if an appropriate traditional roof form can be located below the outer line of the principal building form. Additions must not dominate the original principal building form of the house.



Figure 3.12 Typical free standing multi-storey houses.

**Design suggestions for rear additions to multi-storey houses.**



**Figure 3.13 Multi-storey houses. Principal building form shown hatched.**

### 3.3.3 Semi-detached houses

#### Explanation

Semi-detached houses are usually single-storey cottages built in brick with hipped or gabled roof forms and a skillion roofed wing at the rear. Rare stone and timber examples exist with simple gabled roof forms. Semi-detached houses are usually designed as a symmetrical pair but some asymmetrical pairs exist with a dominant roof form. Semi-detached houses usually have a small front garden behind a picket fence or low masonry wall.

sub-clause 3.3.1 also applies to single-storey semi-detached houses.

#### Objective

- O1 To ensure that the original symmetrical characteristics of pairs of semi-detached houses are retained and enhanced.

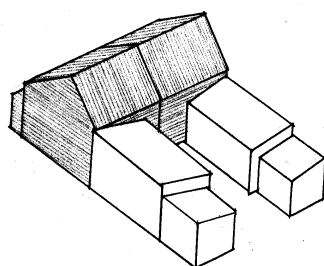
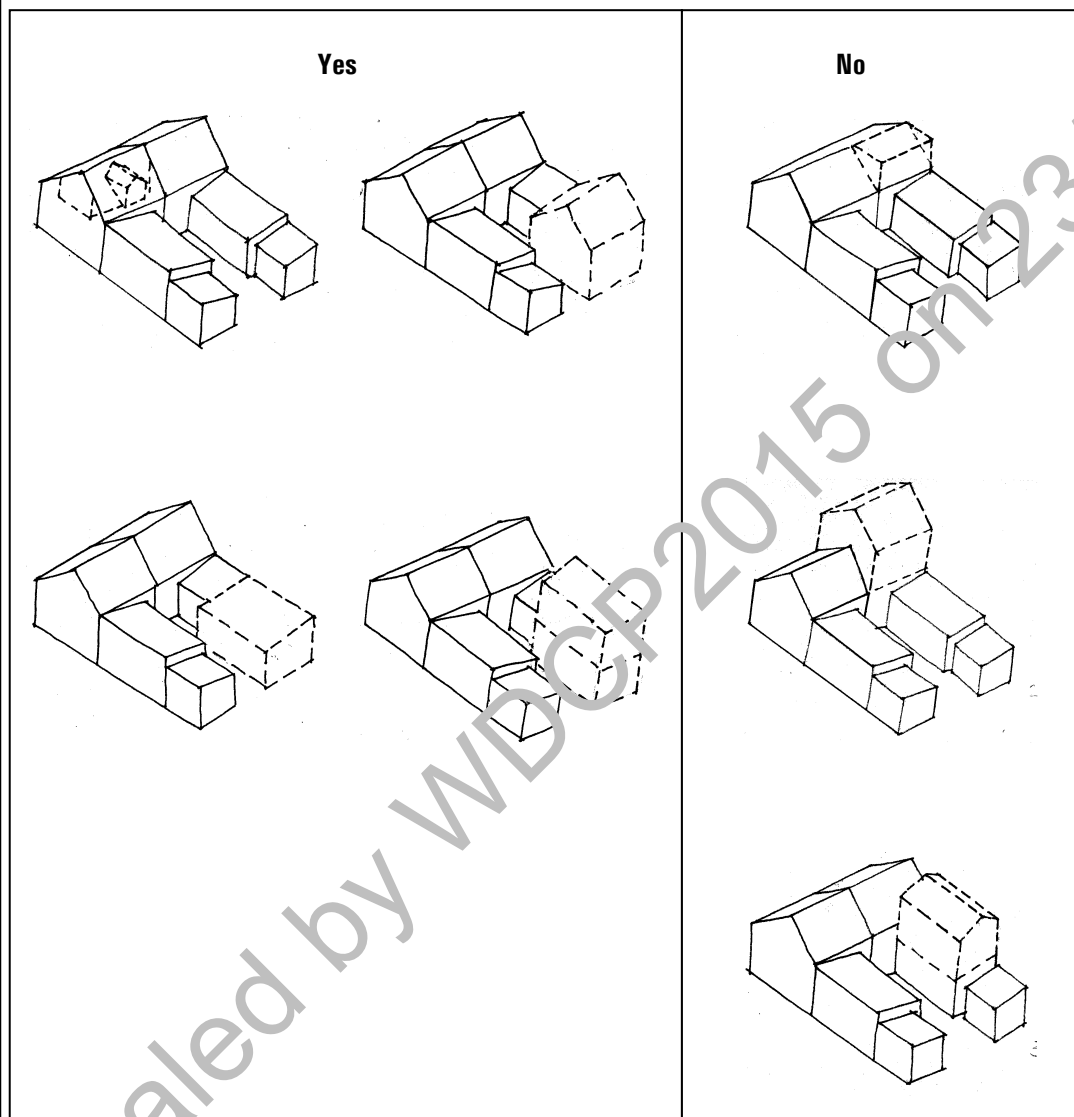
#### Controls

- C1 Alterations and additions to one house of a semi-detached pair must not compromise the uniformity and geometry of the principal or street front elevation or dominate the other house in the pair, particularly when the other house is unaltered.
- C2 Two-storey additions to the rear of a single-storey wing of a semi-detached pair must be linked to the principal building form by a light-weight link structure located below the eaves line of the principal building form. The addition must not exceed a height 300mm below the ridgeline of the principal building form of the building.
- C3 Rear additions to single-storey semi-detached dwellings that include the first floor partly within the roof volume are preferred.
- C4 Additions to the rear of multi-storey semi-detached houses are to be limited in height to the gutter line of the principal building form.
- C5 Additions must not dominate the original principal building form of the building.



Figure 3.14 Semi-detached house types.

**Design suggestions for rear additions to semi-detached houses**



**Figure 3.15 Semi-detached house. Principal building form shown hatched.**

### 3.3.4 Terrace houses

#### Explanation

A typical terrace is two storeys high, with a small front garden behind a palisade fence and a path leading to a ground-floor front verandah and panelled front door. A pair of French doors at the first floor lead to an open front verandah with decorative balustrade details. A rear wing with a skillion roof of one or two storeys is common. Additional basement levels occur.

A Victorian terrace usually has painted stucco walls with a gable form roof segmented by party walls or a skillion form with a parapet to the street front. The front verandah has filigree cast iron decorative details and a separate verandah roof. Federation terraces have tuck-pointed face brickwork at the street front and turned timber fretwork and balustrades, occasionally with masonry details.

#### Objective

- O1 To ensure that the original shared characteristics of a group of terrace houses are retained and enhanced.

#### Controls

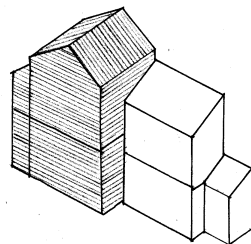
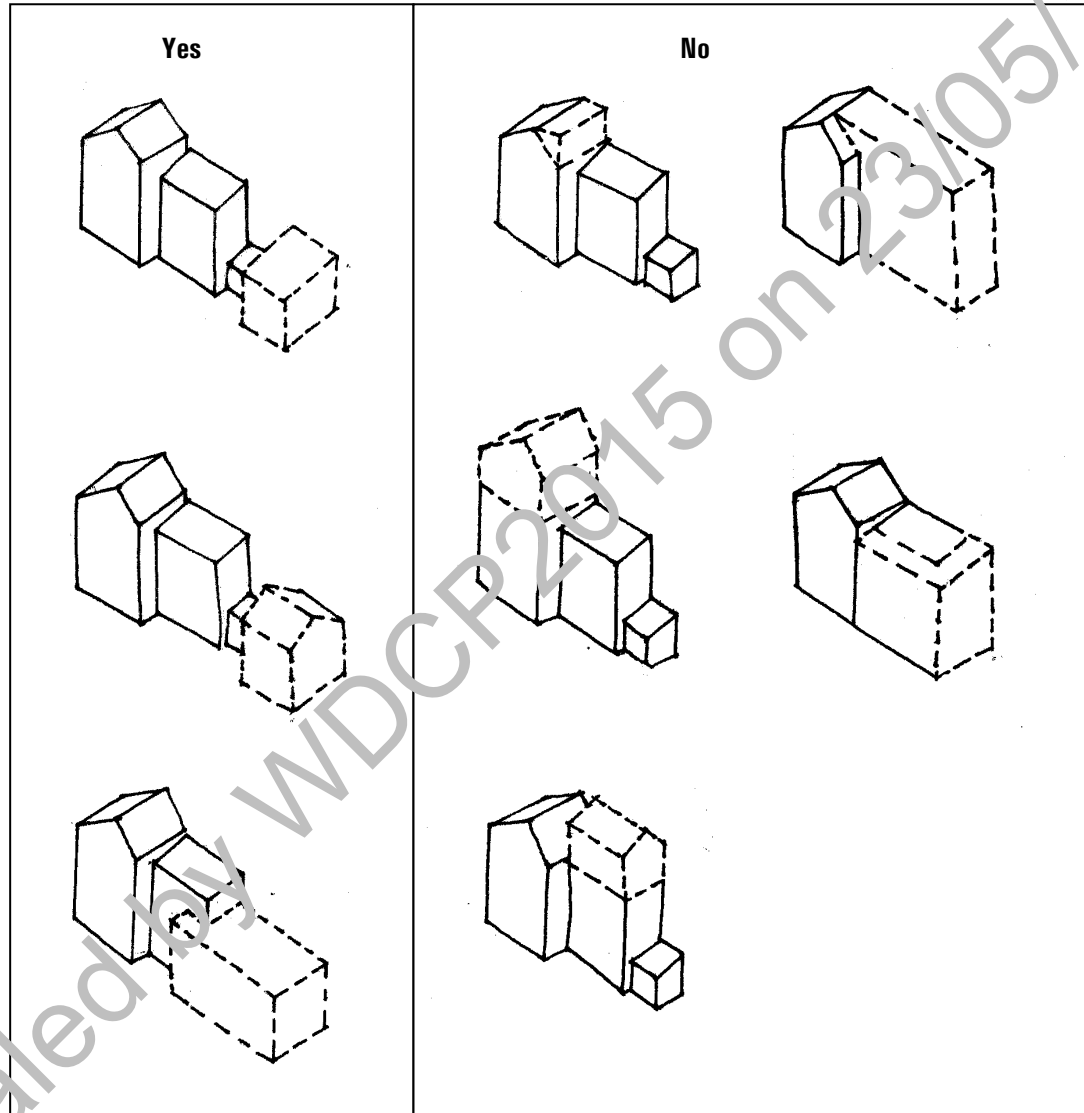
- C1 Alterations and additions to a terrace house must be consistent with the height, alignment, form, scale, breezeway pattern and architectural character of the group.
- C2 Additions to terrace houses must retain the profiles of original party walls and parapets.
- C3 Original side elevations of terraces, including side entrance doors, windows and other details are to be retained.
- C4 Minor alterations to the sides of terraces may be permitted if they do not significantly impact on the principal building form and the patterns of openings.
- C5 Additions to a terrace must not extend beyond the established rear building setback at any level of the group or row.
- C6 The overall length of any addition must be less than that of the original building and must appear secondary to the principal building form.
- C7 The height of an additional storey to the rear of a single-storey terrace must be 300mm below the ridgeline of the principal roof form. The linking structure should be located below the principal eaves line, and should use lightweight construction to differentiate the new work from the original.
- C8 The height of an addition to the rear of a double or triple storey terrace must be below the gutter line of the principal building form of the terrace.
- C9 Where an unaltered group of terrace houses contains single-storey skillion rear forms, additions will not be permitted.
- C10 Boundary to boundary extensions are permitted on the ground-floor level if:
- the proposal would not adversely affect the privacy, ventilation, light or amenity of the adjoining property, and
  - the proposal would not disrupt an existing significant pattern of a group of buildings.
- C11 Where a terrace property is more than 3.3m wide, breezeways must not be enclosed at the first-floor level. Where properties are 3.3m wide or less breezeway enclosures must be expressed as subservient structures using features such as low flat roof forms or transparent materials.

- C12 The roof of an extension or the new roof of an existing component of a terrace must be a skillion or gable form appropriate to the building type.
- C13 Additions to a terrace must retain traditional solid-to-void ratios on elevations visible from the public domain and must not incorporate large expanses of glass on the upper levels.



Figure 3.16 Typical terrace house types

**Design suggestions for rear additions to terrace houses.**



**Figure 3.17 Terrace house. Principal building form shown hatched.**

### 3.3.5 Inter-war flat buildings

#### Explanation

The inter-war flat buildings in the Woollahra HCA are usually three storeys high and demonstrate the influence of the inter-war housing styles found within the HCA. They were usually built in face brickwork with contrasting decorative panels or in textured render in the Georgian Revival, Mediterranean, Spanish Mission or Old English style. Some excellent multi-storey examples also exist of the skyscraper Gothic style within landscaped settings.

There is generally little potential for additions and alterations to inter-war flat buildings as changes usually have a negative impact on the overall character of the buildings and their settings.

Note: The following objectives and controls prevail over the general controls in clause 3.4.

#### Objectives

- O1 To ensure that the original characteristics of inter-war flat buildings are retained and protected.
- O2 To ensure those services upgrading and fire safety works are carried out in a way that retains and conserves the distinctive characteristics of the building.

#### Controls

##### Streetscape

- C1 Contributory and/or characteristic street front gardens are to be maintained.
- C2 There shall be no structures erected in the front gardens which detract from the feeling of openness that restrict or impact upon the principal elevations of the buildings (including secondary fencing).
- C3 There shall be no alterations or additions to the original forms, details or materials of the principal elevations of the buildings.
- C4 All car parking and garage structures are to be located at the rear with access from the rear lane or side driveway.

##### Landscaped area

- C5 The landscaped areas shall not be reduced in area or screen the principal elevation of the building.

#### Alterations and additions

- C6 Alterations and additions to an individual flat must not adversely affect the cohesiveness of the principal building form of the building.
- C7 Additions are to be limited to undercroft, underfloor and within roof spaces without changing the overall form of the building. Additions should not be visually disruptive to the form or character of the building.
- C8 Alterations to windows and external doors are not permitted except where they would not be visually prominent, such as to rear ground-floor flats or below street level.
- C9 Enclosure of balconies and verandahs is not permitted.

- C10 Proposed alterations to improve accessibility (including lifts, ramps and stairs) must retain the original character and design of the building and setting.
- C11 Original timber staircases must be retained and smoke-isolated if necessary

### **Roofs**

- C12 The original roof form of the building is not to be altered.
- C13 Roofs must not be re-pitched to allow for the introduction of an attic storey.
- C14 Skylights are not permitted where visible from the public domain.
- C15 Dormers are not permitted.

### **Fences and gates**

- C16 Fences and gates to the front building alignment must be between 400mm and 900mm in height and consistent in design with the style, form, materials, finishes and character of the building. Appropriate materials are generally masonry for fences and wrought iron for gates.
- C17 Fencing behind the front building alignment must be timber paling.

### **Ancillary development**

- C18 Ancillary development must be no higher than one storey, should be constructed of material in style and character with the principal building and with traditional forms of ancillary development and located between the principal building and the rear boundary.
- C19 Shade structures including awnings and canopies are not permitted to the principal elevation of the building.
- C20 Privacy screens must be discreet, must not be visible from the street and must not adversely affect the overall character of the building.

### **Extended materials**

- C21 Materials for repair or replacement must match the original material in type, profile and colour.
- C22 Original face brick, terracotta or decorative concrete panels on external elevations are not to be rendered, painted or coated.
- C23 Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.
- C24 Concrete tiles and metal roofing are not permitted.
- C25 Aluminium windows are not permitted as replacements for timber windows, but may replace steel windows if they match the original windows in all other respects.



**Figure 3.18** Typical inter-war flat building.

### 3.3.6 Retail buildings

#### Explanation

Queen Street is the primary commercial precinct in the HCA with two and three storey buildings having shops at street level and residential above. They are typically from the Victorian or Federation periods with some inter-war shops and contemporary buildings. Commercial buildings are stylistically diverse and include original shopfronts from the three main periods. Other shops are grouped in Ocean Street between FORTH and Queen Streets in mid to late Victorian buildings including some early timber buildings. Federation period shops are grouped in Edgecliff Road, near Grafton Street. Small groups of shops are spread throughout the area.

#### Objectives

- O1 To ensure that new development within business zone reinforces the 'main street' character.
- O2 To ensure that the original characteristics of the retail buildings listed in this plan as significant items are retained and enhanced, even when they have subsequently been converted for other uses.

#### Controls

- C1 Retail and commercial buildings are to:
  - be a traditional form with shops at ground level and housing or commercial spaces above,
  - be built to the street alignment and to side boundaries at all levels, unless the predominant character is otherwise,
  - be no higher than adjoining significant retail buildings, or if no retail buildings adjoins, the predominant height of adjacent significant buildings,
  - have facades modulated into vertical proportioned bays and openings, that respect the scale, proportion and architectural character of adjacent significant retail buildings.
- C2 Below the awning level of retail buildings, new work is to be consistent with the style and character of the building and the streetscape.
- C3 Removal or alteration of original shopfronts or elements of original shopfronts that are examples of significant architectural styles in the historical development of Woollahra are not permitted except for the purposes of restoration or reconstruction.
- C4 Where non-contributory or intrusive fabric exists in significant shopfront locations, it may be replaced by a modern shopfront if the design is consistent with historical context in terms of materials, proportions, details, colour and signage.
- C5 Contemporary designs for shopfronts must relate to the building type, streetscape and precinct, incorporate traditional features such as the division of frontages, and the configuration of windows with stall boards and doors and should use appropriate materials.
- C6 Reconstruction of original shopfronts may be appropriate in instances where a shopfront forms part of a significant group or where sufficient evidence exists to show the original shopfront design.
- C7 Shopfronts must not be amalgamated. Where properties are amalgamated, the original building elements and shopfronts must be conserved.
- C8 Modification and adaptive re-use of retail buildings must retain the original characteristics of the building type, its architectural style and context.

### 3.3.7 Corner shops

#### Explanation

Corner shops are typically from the Victorian period, one or two storey high and located at cross streets and T-junctions with a residence at the rear of the shop. Often they are built to the boundary with a side shop window, an angled entry façade and a recessed entry door. Many corner shop buildings remain but have changed in use reflecting the evolution of the suburb. Timber shop fronts are rare.

#### Objective

O1 To ensure that the original characteristics of corner shops are retained and enhanced.

#### Controls

- C1 Upper-storey additions to single-storey corner shop buildings will not be permitted.
- C2 Original forms, details, materials and finishes to corner shop buildings are to be retained when these buildings are converted for new uses.
- C3 Rear additions may be permitted if they do not compromise the form or scale of the principal building form.

The retail buildings controls in sub-clause 3.3.6 also apply.

- 1 Awning
- 2 Hamper
- 3 Glazed display window
- 4 Recessed entry area
- 5 French doors
- 6 Stallboard
- 7 Tiled floor

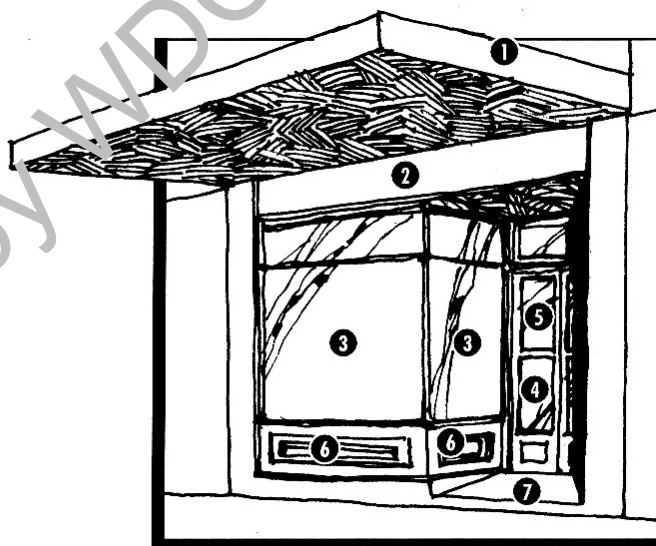


Figure 3.19 Traditional shopfront elements.

### **3.3.8 Adaptive re-use of a non-commercial building for business purposes**

#### **Explanation**

Continuing development of the area has increased pressure to convert for business use buildings originally designed for residential purposes.

#### **Objective**

- O1 To encourage the appropriate design of alterations to significant buildings originally designed for a non-commercial function when these buildings are converted for business use.

#### **Controls**

- C1 Adaptive reuse of significant buildings originally designed for non-commercial use must retain significant interior features of the principal rooms of the original building to allow easy interpretation of the original use.
- C2 Alterations to original windows to create display windows may be permitted if the original joinery characteristics are retained, the opening widths are not increased, and the symmetry of the street front elevation remains unaltered. Latched glass may be permitted within the windows.

### 3.3.9 Adaptive re-use of commercial and industrial buildings

#### Explanation

Industrial buildings include garages, workshops, services stations and light industry factories, mostly built in the Edwardian and inter-war periods. They are usually large volume single-storey buildings constructed in brick with sheet metal roof forms. These buildings are becoming rare and, although scattered throughout the area, are concentrated near Oxford Street and the eastern end of the HCA.

#### Objective

- O1 To retain the original forms, details, materials and finishes of the commercial and industrial buildings listed in this plan as significant items, even when they have been converted for other uses.

#### Control

- C1 Adaptive reuse of significant buildings originally designed for commercial or industrial use must retain significant interior features of the principal rooms of the original building to allow easy interpretation of the original use.

### 3.3.10 Religious, institutional and public buildings

#### Explanation

The area's churches and schools are among the area's most identifiable landmarks. The schools include the Woollahra Public School and the former Holy Cross College in Edgecliff Road, now Reddam College. Churches of various denominations including the synagogues are representative works of prominent architects from the Victorian, Federation and inter-war periods. The public buildings include the former Council Chambers, the embassies and the post office and bank buildings.

#### Objective

- O1 To ensure that any new work is carried out with due regard to the significance of the building and its setting.

#### Control

- C1 Work to a significant religious, institutional or public building must conform to the management policies contained in a CMP adopted by Council.

The controls in clauses 3.2 and 3.4 also apply.

### 3.3.11 Hotels

#### Explanation

The hotels are usually two or three storeys high and located on street corners. The Centennial and the Phoenix display the characteristics of the Victorian periods, while the Woollahra and the Light Brigade represent the inter-war period. The hotels usually exhibit their façade details but few retain original interior details.

#### Objective

O1 To ensure that the original characteristics of hotels in the HCA are retained and enhanced.

#### Controls

- C1 Original facades including areas of tiling are to be retained and conserved.
- C2 Original hotel names must be retained.
- C3 Significant interior features and spaces must be retained.
- C4 Original public areas and former hotel accommodation areas including their form, details, materials and finishes, should be retained.
- C5 Work to a significant hotel must conform to the management policies within a CMP adopted by Council.

The controls in clauses 3.2 and 3.4 also apply.

### 3.4 General controls for development

#### Explanation

The controls in this part apply to all private land within the HCA and every application will be assessed against the relevant general provisions.

While the aim in the Woollahra HCA is to establish a cohesive relationship between new work and the existing building fabric, with non-contributory buildings there is greater scope for design flexibility.

New development may take the form of infill (replacement) or additions to existing buildings. Most of the controls in this part apply to both. In some cases, the controls for infill development are different from those for alterations and additions.

Included in this part are diagrams and tables to assist applicants to design in accordance with the objectives and controls of the plan. These diagrams and tables are not intended to be exhaustive and other design options may be appropriate if they satisfy the objectives and controls.

### 3.4.1 Buildings and elements adjoining heritage items

#### Explanation

In order to retain the heritage significance of the HCA it is important that alterations, additions and new buildings, do not adversely affect the heritage significance of adjoining heritage items or obscure the view of the item from the public domain.

#### Objective

O1 To retain the significance of heritage items in their settings.

#### Control

C1 Development is to be designed so that it has no adverse impact on a heritage item or its setting or curtilage.

### 3.4.2 Subdivision and site amalgamation

#### Explanation

The HCA has a complex and varied subdivision pattern, which demonstrates the different historical stages of its development and contributes to the area's aesthetically significant visual complexity.

#### Objectives

- O1 To retain the historically based subdivision patterns of the HCA.
- O2 To ensure that subdivisions or site amalgamations will not lead to adverse impacts on the curtilages or settings of significant buildings.

#### Controls

- C1 The predominant historical pattern of subdivision and lot sizes is to be retained. Subdivision or amalgamation will not be permitted where the setting or curtilage of buildings on or adjoining the site, would be compromised.
- C2 Where lots are amalgamated, the demolition of significant items on the original lots will not be permitted.
- C3 Public lanes and public pedestrian passageways are not to be amalgamated with private land.

### 3.4.3 Building location and built form

#### Explanation

This part applies to additions and to infill or replacement development, hereafter nominated as new development. The siting and alignment of buildings are important characteristics of the streetscapes of Woollahra. In most streetscapes there is a consistent pattern of similar setbacks from the street and from side boundaries.

Good development results in new structures that complement and enhance the existing character of the area.

Compared with significant items, there is greater scope for design flexibility with new buildings or additions to non-contributory buildings provided the proposed work would not detract from the significance or character of the streetscape or the HCA generally. Where alterations or additions are not visible from the street or other public places, the style is less important; for example, a contemporary design may be appropriate for a new detached pavilion to the rear of an existing house.

Council does not advocate replication of previous architectural styles in cases of infill development. Where infill development is proposed, a contemporary design approach that respects the context is encouraged. Good infill development results in new structures that complement and enhance the existing character of the area.

The height, bulk and scale of new development have the potential to adversely affect the amenity of private and public lands. The controls are designed to ensure that the scale and bulk of new building is compatible with site conditions and the desired future character of the HCA as outlined in clause 2.3, and the significant characteristics of precincts described in clause 3.1, in particular by respecting the characteristics of nearby significant items.

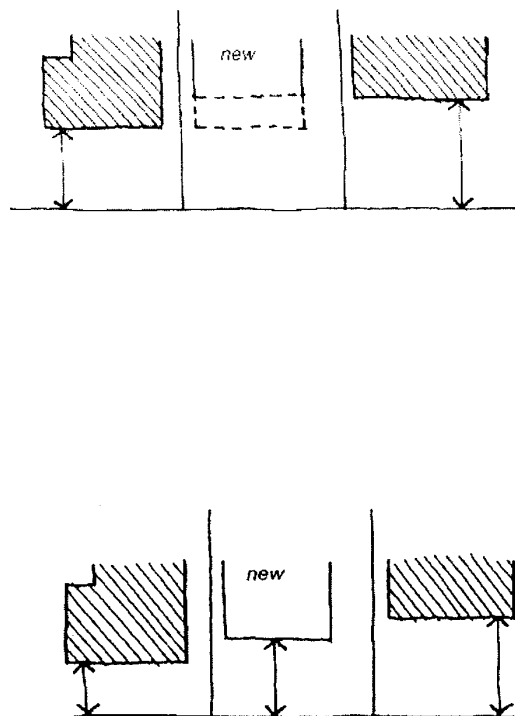
#### Objectives

- O1 To ensure that the siting, levels and front, side and rear building setbacks of additions and infill development continue the established historical pattern of development.
- O2 To locate front, side and rear building alignments of infill development to ensure good aspect and orientation of indoor and outdoor living areas and the retention of existing trees.
- O3 To encourage the retention or creation of useful open space at the rear of sites.
- O4 To protect existing significant trees.
- O5 To retain the patterns of height, bulk and scale distinctive to individual streetscapes and precincts.
- O6 To protect existing views and vistas from streets and other public places.
- O7 To provide additional views and vistas from streets and other public places when opportunities arise.
- O8 To encourage view sharing from private properties.
- O9 To minimise over-shadowing of private and public open spaces.

## Building location

### Controls

- C1 Where there are uniform levels or setbacks within the streetscape, infill development is to be consistent with the levels and setbacks of the adjoining buildings.
- C2 Where front building setbacks vary:
- if there is a dominant pattern adjoining, new development is to align with that pattern
  - if there is an existing stepped pattern, new development is to provide an appropriate transitional front setback between adjoining properties
  - if there is no predominant pattern, new development is to align with the existing adjoining development the most compatible in scale with the proposed development, or is to achieve a transitional setback between the properties on either side.
  - if new development occurs on a corner site, it is to be built up to the street alignments to define the corner unless this interferes with views to or from the public domain or is inconsistent with the streetscape or precinct, or inhibits the visibility of and for pedestrians and vehicles.
- C3 Where buildings are orientated to face the street, new development is to adopt this orientation.
- C4 Where adjoining buildings have been aligned to face a view rather than the street, new development is to adopt this orientation.
- C5 The proportion of site cover is to be no greater than that of adjoining properties.
- C6 New development is to be sited to:
- include sufficient area for deep-soil planting as set out in the precinct controls in clause 3.1;
  - have no adverse impact on established tree or vegetation patterns associated with particular building types, streetscapes or precincts and
  - ensure the retention of existing significant trees and to be located at least 3m from the base of any significant tree to minimise root damage
- C7 Where the existing ground slopes and adjoining properties have basement levels, a basement level may be permitted in new development but must not be used as a garage at the street front.
- C8 The building footprint is designed to minimise cut and fill on sloping sites and to encourage good quality internal environments, any habitable room of a dwelling must have at least one external wall fully above existing ground level (Figure 3.21).
- C9 The outer edge of excavation, piling and all sub-surface walls shall not be less than 1.5 metres from a front, side or rear boundary.



Setback to be a transition between pairs of adjoining significant items or non-significant buildings (shaded).

Figure 3.20 Calculating front setbacks

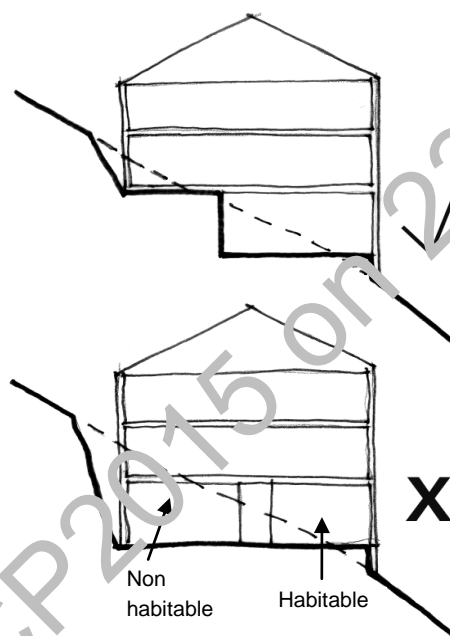


Figure 3.21. Habitable rooms are to have at least one external wall fully above the existing ground level to minimise cut and fill and to encourage good-quality internal environments.

### 3.4.4 Building height, form, bulk, scale and character

#### Controls

- C1 The height, bulk, scale, dominant roof forms, ridge line and building envelope of new development must be consistent with the predominant height, bulk and scale of significant items in the streetscape that are a similar building type. The bulk of new buildings should be distributed to minimise overshadowing of adjoining properties. In circumstances where the infill site adjoins a prominent building or a building of excessive height or intrusive design, conformity is not appropriate.
- C2 The character of new development is to be consistent with the character of nearby significant items and of the streetscape. Solid to void ratios of elevations are to be similar to those of nearby significant buildings.
- C3 New development is not to exceed two storeys unless the predominant significant buildings in the streetscape are three storeys or more, in which case, three storeys may be permitted.
- C4 Storey heights must conform to those of adjacent significant buildings.
- C5 Habitable rooms in new development must have a minimum floor to ceiling height of 2.7m.
- C6 The maximum floor space ratio (FSR) for residential flat buildings in the Residential 2b) zone and for mixed development in the business zones must comply with the FSRs set down in Woollahra LEP 1995.
- C7 The FSR for dwelling-houses must comply with the sliding scale in figure 3.22.

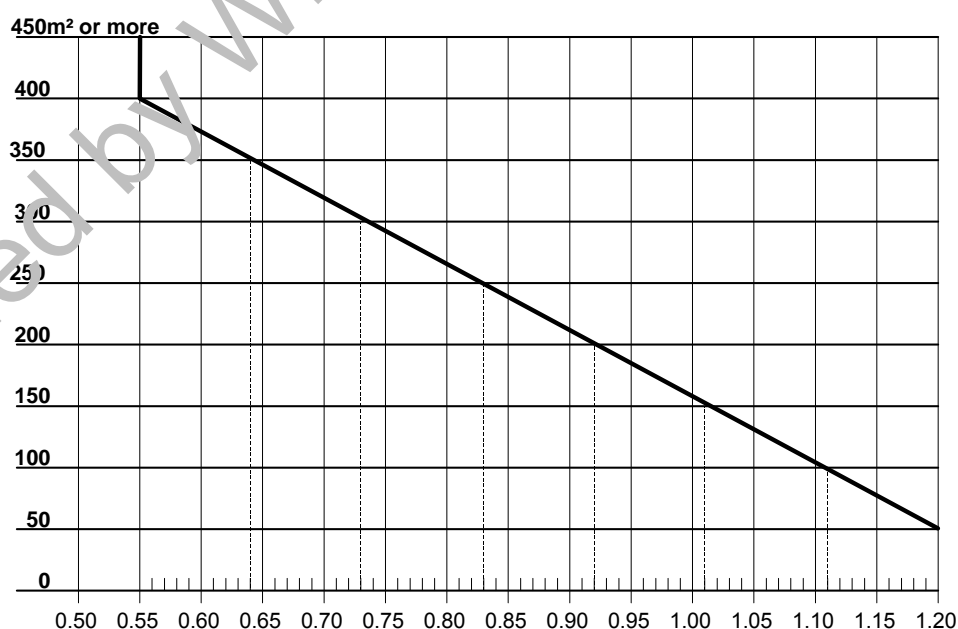


Figure 3.22 Maximum floor space ratio for dwelling houses

- C8 Sunlight is provided to at least 50% (or 35m<sup>2</sup> with minimum dimensions 2.5m, whichever is smaller) of the main ground level private open space of adjacent properties for a minimum of two hours between 9am and 3pm on June 21. Where existing overshadowing is greater than this, sunlight is not further reduced.
- C9 New development is not to obstruct views or vistas from the public domain:
- along streets
  - towards the harbour, city or local landscape
  - across the HCA to landmark buildings, trees or skylines.
- C10 New development must not unreasonably obstruct existing principal views from the habitable rooms, balconies and private open space of neighbouring dwellings.

### 3.4.5 Materials, finishes and colours

#### Explanation

Buildings in the HCA have been constructed in a variety of external materials, finishes and colours characteristic of particular architectural styles, building types or periods of construction.

The use of modern materials and finishes may be appropriate for new development, alterations and additions provided it does not compromise a cohesive relationship between new and existing urban fabric.

The table following lists materials and finishes suitable for infill development, alterations and additions. It also lists materials and finishes that are intrusive elements, whether by their nature or if used in inappropriate situations.

#### Objective

O1 To achieve external materials, finishes and colour schemes appropriate to the context.

#### Controls

- C1 Materials, finishes, textures and colour must be appropriate to the building type and style. They must be similar to, but should not copy, the characteristic materials, finishes, textures and colours of the significant buildings within the streetscape. Contemporary materials may be used where their proportions, detailing and quantities are consistent with the existing and desired future character of the precinct. New development must minimise its visual impact on the surroundings.
- C2 External detailing, colour and finishes must minimise the apparent bulk of new development

#### Table 3.23 Design controls external finishes.

The following table sets out:

- traditional external materials found within Woollahra
- materials which are suitable for new development, including additions and infill
- materials which are intrusive elements, either by their nature or if they are used in large quantities in certain location.

**Table 3.23 Design controls external finishes.****ROOFS**

	<b>Traditional materials</b>	<b>Preferred replacements</b>
<b>Victorian</b>	<ul style="list-style-type: none"> <li>Welsh or South Australian slate.</li> <li>Late Victorian houses occasionally had traditional ornamental patterns.</li> </ul>	<ul style="list-style-type: none"> <li>Slate or slate-like cladding incorporating ornamental patterns where these existed originally.</li> <li>Corrugated galvanised steel or zinc-coated corrugated steel may be appropriate in some cases.</li> </ul>
	<ul style="list-style-type: none"> <li>Corrugated iron in shorter, narrower sheets than are standard today.</li> </ul>	<ul style="list-style-type: none"> <li>Corrugated galvanised steel or zinc coated corrugated steel with traditional details and fixings.</li> </ul>
<b>Federation</b>	<ul style="list-style-type: none"> <li>Slate with terracotta ridge capping and decorative detailing.</li> </ul>	<ul style="list-style-type: none"> <li>Slate with terracotta detailing to match existing.</li> <li>Corrugated galvanised steel or zinc-coated corrugated steel.</li> </ul>
	<ul style="list-style-type: none"> <li>Unglazed terracotta roof tiles in Marseilles pattern, often with ridge cappings and decorative detailing.</li> </ul>	<ul style="list-style-type: none"> <li>Unglazed terracotta roof tiles in Marseilles pattern to match existing.</li> </ul>
	<ul style="list-style-type: none"> <li>Corrugated iron.</li> </ul>	<ul style="list-style-type: none"> <li>Corrugated galvanised steel or zinc coated corrugated steel.</li> </ul>
<b>Inter-war</b>	<ul style="list-style-type: none"> <li>Terracotta tiles of Marseilles, Roman or Spanish pattern, depending on architectural style.</li> <li>Coloured or glazed. Terracotta shingle tiles.</li> </ul>	<ul style="list-style-type: none"> <li>Terracotta tiles or shingles to match existing or appropriate to the style of the building if original tiles have been removed.</li> </ul>
<b>Roofing material controls</b>		
<b>New roofs to additions to significant items</b>	<ul style="list-style-type: none"> <li>Traditional roofing materials outlined above appropriate to the style of the building.</li> <li>Matching original materials to the original part of the building may be the most appropriate.</li> <li>Metal roofing visible from the public domain is to be traditional corrugated profile. Natural metallic finish or a pre-coloured mid or dark grey metal sheeting is preferred.</li> </ul>	
<b>Infill development</b>		
<b>Intrusive</b>	<ul style="list-style-type: none"> <li>Concrete roof tiles.</li> <li>Metal roofing sheets brightly coloured, white or ivory, or colours in light tones.</li> <li>Metal sheeting with tray profiles.</li> <li>Roof tiles on Victorian buildings.</li> </ul>	

**WALLS**

	<b>Traditional materials</b>	<b>Preferred replacements</b>
<b>Victorian</b>	<ul style="list-style-type: none"> <li>Sandstone blocks for walls or as a base course to brick walls.</li> <li>Brickwork, usually rendered, often with ashlar coursings.</li> <li>Corrugated galvanised iron.</li> </ul>	<ul style="list-style-type: none"> <li>Conservation of sandstone required.</li> <li>Replacement brickwork with materials having matching finishes.</li> <li>Corrugated zinc coated corrugated steel with traditional details and fixings.</li> </ul>
<b>Victorian and Federation</b>	<ul style="list-style-type: none"> <li>Timber weatherboards.</li> <li>Zinc coated corrugated steel or ripple iron and weatherboards on sides of dormers and outbuildings.</li> </ul>	<ul style="list-style-type: none"> <li>Timber weatherboards.</li> <li>Corrugated zinc coated corrugated steel with traditional details and fixings.</li> </ul>

**WALLS (continued)**

	<b>Traditional materials</b>	<b>Preferred replacements</b>
<b>Federation</b>	<ul style="list-style-type: none"> <li>Face brickwork with tuck pointing on principal facades, often with sandstone, terracotta or contrasting brick details.</li> <li>Brickwork rendered with stucco decorations or areas of rough cast render.</li> </ul>	<ul style="list-style-type: none"> <li>Dry pressed bricks with appropriate pointing of joints and conservation of contrasting materials.</li> <li>Rendered brickwork.</li> </ul>
<b>Inter-war</b>	<ul style="list-style-type: none"> <li>Face brick, often textured and with contrasting panels.</li> </ul>	<ul style="list-style-type: none"> <li>Conservation preferred, or replacement bricks with appropriate pointing of joints.</li> </ul>
	<b>Walling material controls</b>	
<b>New walls to additions to existing buildings. Infill development</b>	<ul style="list-style-type: none"> <li>Rendered brickwork or blockwork, with or without scribed ashlar coursing where appropriate.</li> <li>Timber weatherboards.</li> <li>Dark coloured dry-pressed brick with a smooth face.</li> <li>Fibrous cement sheeting with a rendered and painted finish – for rear additions.</li> </ul>	
<b>Intrusive</b>	<ul style="list-style-type: none"> <li>Circular pattern render (mock Spanish) or rough textured render (unless to match an original finish to the building).</li> <li>Inappropriately textured or modern colour brickwork.</li> <li>Textured fibrous cement mimicking simulating weatherboard textures.</li> <li>Reflective wall cladding.</li> </ul>	

**WINDOWS**

	<b>Traditional materials</b>	<b>Preferred replacements</b>
<b>Victorian</b>	<ul style="list-style-type: none"> <li>Timber framed, double hung sash windows, plain or multi-paned.</li> <li>Plain glass, traditional patterns or coloured glass.</li> </ul>	<ul style="list-style-type: none"> <li>Timber frames of a matching type and configuration.</li> <li>Coloured and patterned glass may be appropriate for replacement windows at the front of buildings, otherwise glazing to be plain.</li> </ul>
<b>Federation</b>	<ul style="list-style-type: none"> <li>Timber framed, double hung sash or casement windows, often with multi-paned coloured glass in part.</li> </ul>	<ul style="list-style-type: none"> <li>Match original window materials and configuration.</li> <li>Coloured and patterned glass may be appropriate for replacement windows generally at the front of buildings, otherwise glazing to be plain.</li> <li>Metal frames to ground-floor shops and commercial premises where appropriate.</li> </ul>
<b>Inter-war</b>	<ul style="list-style-type: none"> <li>Timber framed, usually double hung sashes often in combination with fixed panels.</li> <li>Steel framed, usually casements, often in combination with fixed panels.</li> <li>Leadlight glass common.</li> </ul>	<ul style="list-style-type: none"> <li>Match original window materials and configuration.</li> <li>Metal frames to ground-floor shops and commercial premises where appropriate.</li> </ul>

**WINDOWS (continued)**

	<b>Window material controls</b>
<b>Alterations to significant items</b>	<ul style="list-style-type: none"> <li>Window frames in the traditional material of the original type, but of contemporary design which respect the architectural style of the building.</li> <li>A single new window located in a wall which otherwise only has original windows, should be detailed similarly to the original windows, but with plain glass.</li> <li>Alterations are proposed to the rear of a building and the rear elevation has already been substantially altered, windows of contemporary design may be acceptable and even preferable, using similar proportions appropriate to the original building type.</li> <li>Metal frames for ground-floor shops and commercial premises where appropriate.</li> </ul>
<b>Intrusive</b>	<ul style="list-style-type: none"> <li>Timber windows in metal frames not reflecting traditional proportions other than at rear ground levels, shops and commercial premises.</li> <li>Glass block infill where glass blocks were not an original component of the building.</li> <li>Bubble glass.</li> <li>Tinted or reflective glass.</li> <li>Aluminium windows other than rear ground-floor and shops to commercial premises where appropriate.</li> <li>Window walls.</li> <li>Replica copies in aluminium of traditional balustrade patterns used as security screens on windows.</li> </ul>

**SHUTTERS**

	<b>Traditional materials</b>	<b>Preferred replacements</b>
<b>Victorian</b>	<ul style="list-style-type: none"> <li>Timber louvers.</li> <li>Expanding concertina style metal shutters to shopfronts.</li> </ul>	<ul style="list-style-type: none"> <li>Match original materials and configuration.</li> </ul>
<b>Federation</b>	<ul style="list-style-type: none"> <li>Timber louvers.</li> <li>Expanding concertina style metal shutters to shopfronts.</li> </ul>	<ul style="list-style-type: none"> <li>Match original materials and configuration.</li> </ul>
<b>Inter-war</b>	<ul style="list-style-type: none"> <li>Timber louvers or with motifs to match the architectural style.</li> </ul>	<ul style="list-style-type: none"> <li>Match original materials and configuration.</li> </ul>
	<b>Shutter materials controls</b>	
<b>New shutters on significant items</b>	<ul style="list-style-type: none"> <li>Where replacement shutters should be of materials and details similar to the original shutters, but should be identifiable on close inspection as new work.</li> <li>Dark hued traditional concertina security shutters on the inside of shop windows and externally to doors.</li> </ul>	
<b>Intrusive</b>	<ul style="list-style-type: none"> <li>Roller shutters to windows or doors to residential buildings, retail and commercial premises internally or externally mounted.</li> </ul>	

**DOORS**

	<b>Traditional materials</b>	<b>Preferred replacements</b>
<b>Victorian</b>	<ul style="list-style-type: none"> <li>Principal doors : timber solid core, panelled with timber, etched or frosted glass.</li> <li>Secondary doors ledged and braced.</li> </ul>	<ul style="list-style-type: none"> <li>Match original materials, proportions and configuration.</li> </ul>
<b>Federation</b>	<ul style="list-style-type: none"> <li>Timber panelled doors with small coloured glass or lead lights.</li> </ul>	<ul style="list-style-type: none"> <li>Match original materials, proportions and configuration.</li> </ul>

**DOORS (continued)**

	<b>Traditional materials</b>	<b>Preferred replacements</b>
<b>Inter-war</b>	<ul style="list-style-type: none"> <li>Timber solid core doors with metal decorative features or with glazed panels, often with leadlights.</li> </ul>	<ul style="list-style-type: none"> <li>Match original materials, proportions and configuration.</li> </ul>
	<b>Door material controls</b>	
<b>New doors to original openings to significant items</b>	<ul style="list-style-type: none"> <li>Joinery shop solid core framed and panelled timber doors detailed similarly to original doors, but identifiable on close inspection as new work.</li> <li>Solid core timber framed doors, glazed timber framed doors, glazed steel frame in appropriate locations, depending on architectural style.</li> </ul>	
<b>Alterations to significant items</b>	<ul style="list-style-type: none"> <li>New door or doors to a wall which otherwise only includes original doors, should be detailed similarly to the original doors, and be of the same material.</li> <li>Alterations to the rear of a building where the rear elevation has already been substantially altered, doors of contemporary design may be acceptable and even preferable, using a similar materials and proportions.</li> <li>Plain glass should be used.</li> </ul>	
<b>Additions to significant buildings</b>	<ul style="list-style-type: none"> <li>Timber or steel framed doors of contemporary design which respect the architectural style of the building, the materials to be consistent with the style of the building.</li> <li>Aluminium or metal framed doors to ground-floor shops and commercial premises only where appropriate.</li> <li>Plain glass should be used.</li> </ul>	
<b>Intrusive</b>	<ul style="list-style-type: none"> <li>Fully glazed doors or enlarged doors to the street front elevations of significant buildings where these were not original to the building.</li> <li>Roller shutter doors to residential buildings, retail and commercial premises.</li> <li>Anodised aluminium security doors, particularly with decorative panels.</li> </ul>	

**VERANDAHS**

	<b>Traditional materials</b>	<b>Preferred replacements</b>
<b>Victorian</b>	<ul style="list-style-type: none"> <li>Floors of stone flagging, marble, unglazed multi-coloured tessellated tiles.</li> <li>Timber for floors and timber framing for the underside of verandah roofs.</li> <li>Slate, timber and sandstone edging.</li> <li>Cast iron posts of a flat profile or circular in section, cast iron friezes, balustrades and brackets.</li> <li>Corrugated iron or slate roof, separated from the main roof form.</li> </ul>	<ul style="list-style-type: none"> <li>Match original material type, proportions and configuration.</li> </ul>
<b>Federation</b>	<ul style="list-style-type: none"> <li>Timber filigree timber post, flooring and timber filigree balustrades and fretwork.</li> <li>Corrugated iron, slate, shingled or metal or terracotta tiles to roof.</li> </ul>	<ul style="list-style-type: none"> <li>Match original material type, proportions and configuration.</li> </ul>
<b>Inter-war</b>	<ul style="list-style-type: none"> <li>Usually a loggia rather than a verandah. Often semi enclosed with stone flagging, tiles or terrazzo flooring.</li> </ul>	<ul style="list-style-type: none"> <li>Match original material type, proportions and configuration.</li> </ul>
	<b>Verandah material controls</b>	
<b>New veranda's or reconstruction</b>	<ul style="list-style-type: none"> <li>Traditional materials for reconstruction.</li> <li>Materials similar to traditional materials for infill but with simplified detailing.</li> </ul>	

**VERANDAHS (continued)**

	<b>Verandah material controls</b>
<b>Intrusive</b>	<ul style="list-style-type: none"> <li>▪ Infilling of open wall with glazing or solid panels.</li> <li>▪ Glazing behind balustrades.</li> <li>▪ Pebble-crete, modern concrete, large scale modern tiles for original building types.</li> <li>▪ Perspex or similar type material roofs.</li> <li>▪ Glass roofs to street facades.</li> </ul>

**BALCONIES**

	<b>Traditional materials</b>	<b>Preferred replacements</b>
<b>Victorian</b>	<ul style="list-style-type: none"> <li>▪ Cast iron friezes and balustrade panels with iron or timber handrails.</li> </ul>	<ul style="list-style-type: none"> <li>▪ Match original material type, proportions and configuration.</li> </ul>
<b>Federation</b>	<ul style="list-style-type: none"> <li>▪ Timber balustrades and brackets.</li> </ul>	<ul style="list-style-type: none"> <li>▪ Match original material type, proportions and configuration.</li> </ul>
<b>Inter-war</b>	<ul style="list-style-type: none"> <li>▪ Open balconies with concrete floors, often with tessellated tiles and decorative wrought iron balustrades.</li> </ul>	<ul style="list-style-type: none"> <li>▪ Match original material type, proportions and configuration.</li> </ul>
	<b>Balcony material controls</b>	
<b>New balconies to significant items</b>	<ul style="list-style-type: none"> <li>▪ Traditional materials for reconstruction on original building types or with modern material equivalents.</li> </ul>	
<b>Infill development</b>	<ul style="list-style-type: none"> <li>▪ Masonry, timber or metal balustrades.</li> </ul>	
<b>Intrusive</b>	<ul style="list-style-type: none"> <li>▪ Smooth, textured or profiled face brick and exposed cement blocks.</li> <li>▪ Corrugated and other profiled metal sheeting.</li> <li>▪ Wire fencing.</li> <li>▪ Fibrous cement sheeting.</li> </ul>	

**FENCES**

	<b>Traditional materials</b>	<b>Preferred replacements</b>
<b>Victorian</b>	<ul style="list-style-type: none"> <li>▪ Occasionally rendered masonry with inscribed ashlar coursing.</li> <li>▪ Timber post, rail and paling.</li> <li>▪ Iron palisade, sometimes on sandstone bases.</li> <li>▪ Timber pickets.</li> </ul>	<ul style="list-style-type: none"> <li>▪ Match original material type, height, proportions and configuration.</li> <li>▪ Iron palisades to be cast to match if reconstructing from known details.</li> <li>▪ Timber pickets to have simple acute angled tops rather than imitation pickets</li> </ul>
<b>Federation</b>	<ul style="list-style-type: none"> <li>▪ Brick, often with dwarf walls and pillars with decorative wrought iron panels or decorative timber palings.</li> </ul>	<ul style="list-style-type: none"> <li>▪ Match original material type, height, proportions and configuration or replace with similar material with simplified contemporary details.</li> </ul>
<b>Inter-war</b>	<ul style="list-style-type: none"> <li>▪ Brick, usually with contrasting panels or brickwork or wrought iron to match the style of the building.</li> </ul>	<ul style="list-style-type: none"> <li>▪ Match original material type, height, proportions and configuration.</li> </ul>
	<b>Fence material controls</b>	
<b>New fences to significant items and infill development</b>	<ul style="list-style-type: none"> <li>▪ Traditional material type and transparency but with simplified contemporary details to suit building style, height and context such as vertical steel pickets with tapered tops for palisade fencing.</li> <li>▪ Contemporary interpretation of traditional metal decorative details but not aluminium versions.</li> </ul>	
<b>Intrusive</b>	<ul style="list-style-type: none"> <li>▪ Smooth, textured or profiled face brick and exposed cement blocks.</li> <li>▪ Full height solid brick fences.</li> <li>▪ Materials and forms that are inappropriate to the style of the building.</li> <li>▪ Aluminium versions of palisade pickets or wrought iron details.</li> </ul>	

### 3.4.6 Open space and landscaping

#### Explanation

Open space and landscaping play important roles in the preservation of habitat, the establishment of community identity, the provision of recreation opportunities and stormwater management, as well as the amenity of individual dwellings.

Integrated landscape design can enhance the appearance, amenity and energy efficiency of housing. Landscaping appropriate to building type and period of construction will contribute to the character of the HCA.

#### Objectives

- O1 To ensure that adequate provision is made for accessible and useable private open space.
- O2 To retain important existing mature trees, vegetation and other landscape features.
- O3 To ensure the provision of permeable and semi-permeable areas of open space to assist with stormwater management.
- O4 To ensure that swimming pools, spa pools and tennis courts be located where they are not visible from the public domain.
- O5 To ensure that private open space areas, plantings, swimming pools, spa pools and tennis courts are designed to minimise adverse impacts on the heritage significance of the area, services infrastructure, the fabric of buildings and the amenity of neighbours.

#### Controls

##### Private open space and deep soil landscape areas

- C1 Each dwelling house is to be provided with private open space and deep soil landscape area in accordance with the following table.

Residential type	Site area	Minimum private open space required	Minimum deep soil landscape area required
Dwelling houses on very small allotments	Maximum of 130m <sup>2</sup>	<ul style="list-style-type: none"> <li>▪ 10% of the site area</li> <li>▪ principal rear area to have a minimum area of 10m<sup>2</sup> and a minimum dimension of 3m.</li> </ul>	5m <sup>2</sup>
Dwelling-houses on small allotments	At least 130m <sup>2</sup> and less than 225m <sup>2</sup>	<ul style="list-style-type: none"> <li>▪ 16% of site area</li> <li>▪ the principal rear area with a minimum area of 12m<sup>2</sup> and a minimum dimension of 3m</li> </ul>	8% of site area
Dwelling-houses on medium allotments	At least 225m <sup>2</sup> and less than 350m <sup>2</sup>	<ul style="list-style-type: none"> <li>▪ a minimum area of 35m<sup>2</sup>;</li> <li>▪ a minimum dimension of 3m; and</li> <li>▪ the principal area with a minimum area of 16m<sup>2</sup> and a minimum dimension of 4m</li> </ul>	15% of site area
Dwelling-houses on large allotments	A minimum of 350m <sup>2</sup>	<ul style="list-style-type: none"> <li>▪ a minimum area of 35m<sup>2</sup>;</li> <li>▪ a minimum dimension of 3m; and</li> <li>▪ the principal area to be a minimum 16m<sup>2</sup> with a 4m minimum dimension</li> </ul>	15-25% of site area [refer to precinct controls for specific percentage]

**Table 3.24.1 Minimum private open space and deep soil landscape area requirements for dwelling houses**

- C2 Each residential flat building is to be provided with private open space, unbuilt upon areas and deep soil landscape areas in accordance with the following table

Residential type	Minimum private open space required	Minimum unbuilt upon area	Minimum deep soil landscape area required
Residential flat buildings	N/A	40% of the site area	20% of the site area
Inter-war - Flat buildings	N/A	40% of the site area	15% of the site area
Each dwelling within a residential flat building located above ground level in the form of a balcony, verandah or roof terrace	<ul style="list-style-type: none"> <li>a minimum area of 8m<sup>2</sup> and</li> <li>a minimum dimension of 2m</li> </ul>	N/A	N/A

**Table 3.24.2 Minimum private open space and deep soil landscape area requirements for residential flat buildings**

- C3 Each residential flat building within mixed development is to be provided with private open space, unbuilt upon areas and deep soil landscape areas in accordance with the following table

Residential type	Dwelling size	Minimum landscaped open space per dwelling	Minimum deep soil landscape area
Dwellings within mixed development	1 bedroom	40m <sup>2</sup>	20m <sup>2</sup>
	2 bedrooms	55m <sup>2</sup>	28m <sup>2</sup>
	3 or more bedrooms	80m <sup>2</sup>	40m <sup>2</sup>

**Table 3.24.3 Minimum private open space and deep soil landscape area requirements for dwellings within mixed development**

- C4 Part of the private open space must be directly accessible from the main living area and capable of serving as an extension of the dwelling for relaxation, dining, entertainment, recreation or children's play.
- C5 Stairways and ramps may be used to provide access to outdoor living space on sloping sites. The raising of open space areas to provide level access from a building will not be permitted if there would be an adverse impact on adjoining properties or the heritage significance of the property.
- C6 Materials and colours of paving visible from the public domain are to be appropriate to the character of the streetscape and the architectural style and materials of existing buildings on the site.

### Trees and vegetation

- C7 Mature trees on private land are to be retained in place and incorporated into any proposed landscape treatment.
- C8 Trees and other vegetation are to be of species and size at maturity that will not have an adverse impact on building fabric, significant elements, infrastructure, power lines or other services. New trees are to be selected from the schedule of appropriate tree species list [Table 3.25]
- C9 Where possible, vegetation should be located to improve privacy between dwellings.
- C10 For infill development, trees are to be selected and located to contribute to energy efficiency and amenity by providing substantial shade in summer, especially to west-facing windows, and by admitting sunlight to indoor and outdoor living areas in winter.
- C11 Where significant trees are to be removed due to ill health, the tree should (subject to site constraints) be replaced with the same species or a species of appropriate size at maturity.
- C12 Landscaping on private land must ensure the retention of adequate sight lines for pedestrians and vehicles, especially at street corners.

### Swimming pools and spa pools

- C13 Swimming pools and spa pools will not be permitted in the front garden or forward of the front building alignment.
- C14 For corner allotments or where the property has two street frontages, the location of swimming pools and spa pools is not to be in the primary frontage.
- C15 Swimming pools and spa pools will not be permitted in the rear of properties if:
  - construction of the pool would result in the removal of a tree that is subject to a tree preservation order
  - the deep soil landscape area requirement cannot be met.
- C16 Where significant mature trees are to be retained, structures are located at least 3m from the base of the tree.
- C17 Swimming pools must not cause damage to the fabric of adjoining properties or adverse impact on the amenity of the occupiers of adjoining properties through noise from pool equipment, flood lighting or discharge of backwash.
- C18 The outer edge of the excavation, piling and all sub-surface walls is not less than 1.5m from a boundary.
- C19 Swimming pools are only permitted where the coping will be flush with or not higher than 300mm above the existing ground level and no portion of the pool's casing is visible from the public domain or an adjacent significant item.
- C20 Structures and associated plant and equipment satisfy the design, construction and operation requirements set out in the Council's standard conditions for
  - swimming pools and spa pools, including requirements for drainage of waste water, filtration equipment, fencing, and containment of water from overflow and splashing;
  - compliance with the Building Code of Australia
  - identification of levels and heights to Australian Height Datum;
  - structural adequacy.

**Tennis courts**

- C21 The location of tennis courts is to be at the rear of properties.
- C22 For corner allotments or where the property has two street frontages, the location of tennis court is not to be in the primary frontage.
- C23 Where significant mature trees are to be retained, the court and fencing are located at least 3m from the base of the tree.
- C24 The court playing surface is of a material that minimises light reflection.
- C25 The height and location of court fencing is to enable:
- sharing of views from surrounding residences;
  - provision of sunlight to adjoining properties as required by sub-clause 3.4.6, C2.
- C26 Fencing material is to be a recessive colour.
- C27 Fences are to be setback a minimum of 1.5m from boundaries.
- C28 Safety fencing is provided to satisfy the requirements set out in the Council's standard conditions for swimming pools where the court is designed as a water detention basin with a depth of 300mm or more.
- C29 Floodlighting of tennis courts is prohibited.

**Table 3.25 Schedule of appropriate trees species**

COLONIAL		VICTORIAN	
<i>Araucaria heterophylla</i>	(Norfolk Island Pine)	<i>Acer negundo</i>	(Box-elder)
<i>Acmena</i> sp	(Lippy Pilly)	<i>Acmena</i> sp	(Lippy Pilly)
<i>Arbutus unedo</i>	(Strawberry Tree)	<i>Aesculus hippocastum</i>	(Horse Chestnut)
<i>Brachychiton</i> sp	(Kurrajong, Flame Tree)	<i>Angophora costata</i>	(Sydney Red Gum)
<i>Calodendrum capense</i>	(Cape Chestnut)	<i>Araucaria cunninghamiana</i>	(Hoop Pine)
<i>Camelia</i> sp	(Camelia)	<i>Arbutus unedo</i>	(Strawberry Tree)
<i>Castanea sativa</i>	(Spanish Chestnut)	<i>Archontophoenix cunninghamiana</i>	(Bangalow Palm)
<i>Ceratonia siliqua</i>	(Carob Tree)	<i>Banksia</i> sp	(Banksia)
<i>Citrus</i>		<i>Brachychiton</i> sp	(Kurrajong, Flame Tree)
<i>Cupressus sempervirens stricta</i>	(Italian Cypress)	<i>Calodendrum capense</i>	(Cape Chestnut)
<i>Eriobotrya japonica</i>	(Loquat)	<i>Castanea sativa</i>	(Spanish Chestnut)
<i>Flindersia australis</i>	(Teak)	<i>Crataegus monogyna</i>	(English Hawthorn)
<i>Fraxinus</i>	(Ash)	<i>Cupressus</i> sp	(Cypress Pine)
<i>Hibiscus</i> sp	(Hibiscus)	<i>Cytisus proliferus</i>	(False Tree-Lucerne)
<i>Magnolia grandiflora</i>	(Bull Bay)	<i>Diospyros kaki</i>	(Persimmon)
<i>Melia azedarach</i>	(White Cedar)	<i>Eleocarpus reticulatis</i>	(Blueberry Ash)
<i>Ulmus parvifolia</i>	(Chinese Elm)	<i>Eriobotrya japonica</i>	(Loquat)
		<i>Eucalyptus</i> sp	(Gum Tree)
		<i>Ficus</i> sp	(Fig Tree)
		<i>Flindersia australis</i>	(Teak)
		<i>Fraxinus</i>	(Ash)
		<i>Grevillea robusta</i>	(Silky Oak)
		<i>Hibiscus</i> sp	(Hibiscus)
		<i>Jacaranda mimosifolia</i>	(Jacaranda)
		<i>Leptospermum</i> sp	(Tea Tree)
		<i>Magnolia grandiflora</i>	(Bull Bay)
		<i>Morus nigra</i>	(Black Mulberry)
		<i>Howea forsteriana</i>	(Kentia Palms)
		<i>Pittosporum</i>	
		<i>Pyrus</i> sp	(Stone Pine)
		<i>Populus nigra</i>	(Black Poplar)
		<i>Quercus ilex</i>	(Holm Oak)
		<i>Salix babylonica</i>	(Weeping Willow)
		<i>Schinus molle</i>	(Pepper Tree)
		<i>Sorbus aucuparia</i>	(Rowan Tree)
		<i>Thuja orientalis</i>	(Bookleaf Cypress)
		<i>Ulmus parvifolia</i>	(Chinese Elm)

FEDERATION		INTER-WAR	
Acer	(Maple)	Camelia sp	(Camelia)
Archontrphoenix alexandrae	(Alexander Pine)	Cuppressus sp	(Cypress Pine)
Arbutus unedo	(Strawberry Tree)	Fraxinus excelsior	(Golden Ash)
Brachychiton	(Kurrajong Flame Tree)	Jacaranda mimosifolia	(Jacaranda)
Callitris collumaris	(Coast Cypress)	Lagerstroemia indica	(Crepe myrtle)
Calodendrum capense	(Cape Chestnut)	Liriodendron tulipifera	(Tulip Tree)
Camelia sp	(Camelia)	Quercus ilex	(Holm Oak)
Chamaecyparis lawsoniana	(Lawson Cypress)		
Cupressus	(Sempervirens Stricta)		
Diospyros kaki	(Persimmon)		
Erythrina	(Coral Tree)		
Fraxinus	(Ash)		
Howea forsteriana	(Kentia Palm)		
Jacaranda mimosifolia	(Jacaranda)		
Lagerstroemia indica	(Crepe-myrtle)		
Livistona australis	(Cabbage - Tree Palm)		
Morus nigra	(Black Mulberry)		
Phoenix Canenensis	(Canary Date Palm)		

### 3.4.7 Fences, gates and retaining walls

#### Explanation

Carefully designed fences and walls help to integrate developments into the existing streetscape. When poorly designed, however, they have the potential to unduly dominate the streetscape and reduce opportunities for neighbourhood surveillance and social interaction. Tall blank brick fences facing the street are particularly unsympathetic, as they separate the house from the public domain and have an adverse impact on the streetscape, the precinct and the HCA as a whole.

#### Objectives

- O1 To ensure the removal of non-original, intrusive tall masonry fences on street alignments and to prevent the construction of tall masonry fences on street alignments
- O2 To ensure fences, walls and gates contribute positively to the streetscape and improve safety and amenity for residents.

#### Controls

- C1 New front fences, gates and associated elements to the street alignments and side street alignments of significant items are to be of form, height, details, materials, finishes and quality appropriate to the architectural style, building type and construction period of the existing building on the site and to the precinct.
- C2 New fences and gates to side and rear street or lane alignments of significant items are to be of a traditional design, height and form and should be consistent with the following table

**Table 3.26**

	Setting	Scale	Massing/form	Materials
<b>Fences</b>	<ul style="list-style-type: none"> <li>▪ Rear fences must be constructed on the rear boundary</li> </ul>	<ul style="list-style-type: none"> <li>▪ Rear fence maximum solid height 1.8m</li> <li>▪ 0.6 m high transparent fence may be permitted on top of solid section</li> </ul>		<ul style="list-style-type: none"> <li>▪ Timber palings preferred</li> <li>▪ Bagged or rendered brickwork may be permitted if appropriate to the context.</li> <li>▪ Sheet metal fencing is not permitted</li> </ul>
<b>Laneway gates</b>	<ul style="list-style-type: none"> <li>▪ Conserve original gates, including hardware.</li> <li>▪ Construct gates on rear boundary</li> </ul>	<ul style="list-style-type: none"> <li>▪ Maximum gate height 2.2m</li> <li>▪ Maximum gate width 1.2m</li> <li>▪ Double gates 2.4m</li> <li>▪ Minimum pedestrian gates width 900mm</li> </ul>	<ul style="list-style-type: none"> <li>▪ Minimum 150mm freestanding posts/ reveals or set into fencing</li> </ul>	<ul style="list-style-type: none"> <li>▪ Lugged and braced timber gates</li> <li>▪ Timber painted bi-fold gates</li> <li>▪ Roller shutter only permitted with masonry surrounds</li> <li>▪ Gates are to open within property at all times</li> </ul>

	Setting	Scale	Massing/form	Materials
<b>Street gates</b>	<ul style="list-style-type: none"> <li>Gates to align with walls or palisade fences</li> <li>Open parking bays are not permitted within street front locations.</li> </ul>	<ul style="list-style-type: none"> <li>Maximum gate height 2.1m</li> <li>Maximum gate width 1.2m</li> <li>Double gates max. width 2.4m</li> <li>Pedestrian gates 900mm</li> </ul>	<ul style="list-style-type: none"> <li>Gates to open into the property at all times</li> <li>Metal or cast iron posts where appropriate should tie in with adjoining fencing</li> <li>Timber posts where appropriate should tie into the adjoining picket fence</li> </ul>	<ul style="list-style-type: none"> <li>Materials and design of street gates should relate to fence type or context</li> <li>Gates are to open within property at all times</li> </ul>

- C3 Fences and gates to non-contributory buildings and infill development are to be of contemporary design appropriate to the architectural style of the building in materials that demonstrate an appropriate response to the physical context and historical background of the streetscape and precinct.
- C4 New or replacement fences must incorporate root barriers at the streetfront boundary where street trees occur.
- C5 The height of a front fence is not to exceed 1.5 metres
- C6 The height of a side or rear fence is not to exceed 1.8 metres. Where there is a difference in level from one side of the boundary to the other, the 1.8 metre limit is measured from the low side. Where there is a difference in ground levels at the boundary greater than 1.2m, the height of the fence must not exceed 1.2m measured from the high side.
- C7 On sloping sites, the height of fences and walls may be averaged. Fences and walls may be regularly stepped down the slope.
- C8 New fences and gates to non-contributory buildings and infill development are to be at least 50% open to enable outlook from the building to the street.
- C9 New masonry front fences will be permitted only where they were originally associated with the architectural style or building type and construction period of the building on the site.
- C10 On corner sites new front fences, gates and side fences in front of the building alignment are to be at least 50% open to ensure good visibility for pedestrians and traffic at street corners.
- C11 New gates must not encroach over the footpath and the street carriageway when opening

### 3.4.8 Roofs and skylights

#### Explanation

Roof forms and details in the HCA vary widely according to building type and architectural style, and this variety of forms makes an important contribution to the aesthetically significant visual complexity of the Area as a whole.

#### Objective

- O1 To ensure new roofs and alterations to roofs fit in with the character, physical context and historical background of the streetscape, precinct and HCA as a whole.

#### Controls

- C1 Where new development adjoins a significant building, roof forms and cladding are to be consistent with those of the significant item.
- C2 No rear roof plane is to incorporate more than 25% transparent material including skylights and dormers.

#### Skylights

- C3 Skylights to the front or side of a building are not to be located where they would be visible from the public domain.
- C4 Skylights must have a low profile and must be flush with the roof surface. They should be predominantly of glass with simple, unobtrusive detailing. The frame colour must match the surrounding roof colour.

### 3.4.9 Parking and garages

#### Explanation

Garages built to street alignments form inappropriate intrusions to streetscapes, while the provision of new driveway crossovers often results in the removal of street trees, a reduction in the number of on-street parking spaces and the loss of sections of early stone kerbing.

The inclusion of car parking spaces, carports and garages has resulted in a reduction of soft landscaping and useable open space in the front and rear gardens of many properties in the HCA. The consequent reduction in the number of trees and the amount of permeable ground surfaces is increasing the pressure on surface stormwater drainage systems.

Council's on-site parking requirements aim to satisfy the parking demand likely to be generated by development while discouraging unnecessary car use and site excavation resulting from the provision of excessive amounts of on-site parking.

Limiting unnecessary car use and encouraging other modes of transport, such as walking, cycling and public transport, helps to improve local amenity and to minimise pollution and the use of non-renewable energy resources.

Parking areas, garages and driveways must be designed carefully so that they do not detract from the appearance of the development and the surrounding streetscape.

Additional floor space is occasionally being sought through the provision of a loft structure over a garage. Due to potential streetscape and landscape impacts, a loft structure is not appropriate for garages fronting a street and may be unacceptable for garages on the rear boundaries with access to a laneway. In the preparation of this plan, consideration was given to suitable locations where a loft structure would be appropriate. It was concluded that loft structures for laneway garages would be acceptable in only three areas in the HCA, being in the West Woollahra and Grafton Precincts and in Sisters Lane, but then only if the proposals meet particular criteria.

#### Objectives

- O1 To protect the amenity of the property, neighbouring properties and public open space in terms of visual and acoustic privacy and sunlight access.
- O2 To ensure that residential buildings, rather than vehicle access and parking structures, remain the dominant elements in the streetscape.
- O3 To ensure that on-site vehicle parking is not provided at the expense of soft landscaping and useable open space.
- O4 To maintain and enhance the character of laneways where unsympathetic earlier development, such as high brick walls and full width garages, has eroded the quality of these urban spaces.
- O5 To allow safe and convenient vehicle access and to minimise vehicle and pedestrian conflict.
- O6 To only allow loft structures over a garage which is located on the rear boundary of a property within the West Woollahra and Grafton Precincts and Sisters Lane.
- O7 To limit the height of garage structures in order to minimise impact on the character of the HCA.
- O8 To ensure a loft structure over a garage is designed to sympathetically integrate with the character of laneways.

## Controls

- C1 Provision of on-site parking areas, parking structures and servicing areas such as loading facilities will not be a general requirement of Council and may not be permitted in certain circumstances. On-site parking may not be required or may not be permitted where it does not comply with controls in this part, or where:
- the parking of a vehicle may have a detrimental impact on the amenity of an adjoining property, the health or form of a significant tree, the character of a streetscape or laneway or the significance or architectural character of a building on the site or on an adjacent site
  - extensive areas of excavation are required
  - a driveway cannot comply with a maximum gradient of 20% with adequate transitions at the top and bottom in accordance with AS 2890.1(1993)
  - vehicle entries and exits may have a detrimental impact on pedestrian movements, traffic movements, Council infrastructure or service authority infrastructure such as Telstra pits
  - inadequate sight distances may result in unsafe vehicle movement to or from the site.
- C2 All parking is to be provided behind the front building alignment.
- C3 No additional vehicle crossovers will be permitted off street frontages.
- C4 No parking is permitted under the principal building form of a dwelling
- C5 No garages are to be introduced into original retaining walls built to the street alignment.
- C5a Garage structures are to be single-storey only, other than as may be allowed under C13.
- C6 In streetfront situations, even where a cross-over exists, double and multiple garages will not be permitted.
- C7 Where crossovers exist on street frontages and there is a minimum side setback of 3 metres, a car space, carport or garage may be located to the side of a building provided it is set back behind the front alignment of the building or, if free-standing, behind the main ridgeline of the building. The form and materials should complement those of the principal building. An appropriate contemporary design is permitted and must not be an imitation of an historic design.
- C8 If a property has an accessible rear lane, any vehicular access is to be from the rear. Where rear lane parking is permitted and the property is wider than 4.25m, proposals must provide a visual connection between the private and public domain by the inclusion of a pedestrian gate or fencing panel with a minimum width of 900mm and maximum height of 1.8m. Planting along the rear boundary should be incorporated where possible. Garage doors and sections of solid wall should be of minimal width. Garage doors must open into the property.
- C9 On rear lane frontages, elements which create excessive isolation between the public and the private domain, such as high blank walls and excessively wide garage doors, are not acceptable.
- C10 No rear lane vehicle access is permitted to a site if the lot width is less than 3.2 metres and the distance from the rear of the building to the rear boundary is less than 10.0 metres.
- C11 If the lane width is less than 5.0 metres, rear lane vehicular access is permitted only if there is a minimum garage entry width of 3.2 metres and it can be demonstrated to Council that turning circles are in compliance with Figure 2.2 and the B85 design template in Australian Standard 2890.1 – 1993 and is consistent with the standard.
- C12 Laneway garages with roof gardens will be permitted only on steeply sloping properties where the floor level of the roof terrace is no higher than the ground-floor level of the building and the terrace is non trafficable except for garden maintenance.

C13 A loft structure over a laneway garage will be permitted only in the West Woollahra and Grafton Precincts and in Sisters Lane, and then only if:

- a) the structure does not adjoin an existing single-storey habitable building on another site where that building is also positioned on a laneway frontage,  
Note: A garage or carport is not a habitable building.
- b) the design of the structure protects the amenity of the property, neighbouring properties and public open space, in terms of visual and acoustic privacy and sunlight access,
- c) the site dimensions are a minimum of 30m long and 4.25m wide
- d) the maximum width of the loft and single garage is 4.5m and for the loft and double garage is 6m,
- e) the structure does not require the garage footprint to be extended so that the controls in clause 3.4.6 "Open space and landscaping" cannot be satisfied. Where there is an existing non-compliance with these controls, the existing private open space and deep soil landscaping is not to be further reduced,
- f) all access to the loft is provided internally,
- g) there are no balconies, decks, or other similar cantilevered structures,
- h) habitable room windows within the loft with a direct sightline to the habitable room windows in the existing building on the site and neighbouring buildings have a separation distance of at least 9 metres,
- i) a window in a gable end of a non-transverse roof or a dormer window in a transverse roof is a centrally located single double-hung sash style or inward-opening casement window of traditional proportions,
- j) there are no dormer windows in the gable-ended roof form,
- k) there are no windows in the gable end of a transverse roof form,
- l) skylights, if proposed, are limited to a maximum of two per roof plane, and provided:
  - they comply with C4 in clause 3.4.8 "Roofs and skylights",
  - each skylight does not exceed an area greater than 1.5m<sup>2</sup>,
  - roof planes do not have more than 25% transparent material,
- m) the proposal complies with the controls for laneway garages with lofts in Table 3.29.

C13a Loft structures will not be permitted:

- a) over garages in the street front zone,
- b) if the subject property is part of an original row of houses, comprising an unaltered group, and the proposal demonstrates an adverse impact on this group,
- c) if the rear of the property is orientated towards the north between NNE and NNW (true north),
- d) over a multiple space garage, other than a side by side double garage, in which case a transverse gable form is used.

C14 Suitable door types for new garages are, in order of preference, bi-fold panelled doors, panel-lift doors, vertical steel gates and roller shutter doors. Roller shutter doors without a surrounding masonry structure are not permitted.

C15 Where on-site parking is permitted by the other controls in this part

- dwelling houses may provide a maximum of two on-site parking spaces. The second space may be in tandem or stacked;
- residential flat buildings, may provide not more than the number of on-site car parking spaces calculated in accordance with the following table:

Dwelling size	Maximum number of spaces provided per dwelling <sup>1</sup>
1 bedroom	1.0
2 bedrooms	1.5
3 or more bedrooms	2.0
Visitor parking shall be provided at a maximum rate of 0.25 spaces per dwelling.	

<sup>1</sup>Average for entire development. Round up to nearest whole number with halves (i.e. 0.5) to be rounded up.

**Table 3.27 Parking calculations for residential flat buildings.**

C16 The average number of on-site car parking spaces for the residential component of mixed development within a business land use zone must comply with the following table:

Dwelling size	Maximum number of spaces provided per dwelling <sup>2</sup>
1 bedroom	0.75
2 bedrooms	1.0
3 or more bedrooms	1.25

<sup>2</sup> Average for the residential component of the development. Round up to nearest whole number with halves (i.e. 0.5) to be rounded up.

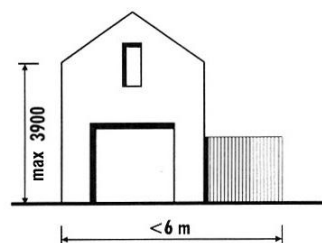
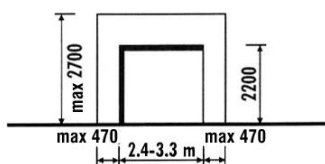
**Table 3.28 Parking calculations for mixed developments.**

**Table 3.29 Design controls parking, garages and carports –Note that all dimensions are in millimetres**

	Setting	Scale	Massing/form	Materials
<b>LANEWAY GARAGES – parapet or gable roof form</b>	<ul style="list-style-type: none"> <li>Preserve original toilets adjacent to laneway boundaries in West Woollahra precinct</li> <li>Build on rear boundary</li> <li>Minimise ramp up to garage</li> <li>Do not dominate existing cottages to residential lanes</li> <li>Provide an acceptable interface between private property and the laneway.</li> </ul>	<ul style="list-style-type: none"> <li>Maximum door height 2200</li> <li>Minimum single door width 2400</li> <li>Maximum single door width 3300 except double garages where each maximum door width is 3000</li> <li>Maximum single garage width 4240</li> <li>Maximum eaves/parapet height 2700</li> </ul>	<ul style="list-style-type: none"> <li>Minimum 350 wide side pillars to gable forms</li> <li>Maximum 470 pillars to flat roof forms or offset gables. A solid to void ratio 1:1 is preferred</li> <li>Flat roof possible if not a corner site</li> <li>Pitched roof preferable to match appropriate traditional roof pitch</li> <li>Single garage doors with maximum 470 pillars between additional doors (max. 2 doors)</li> <li>Double garages are permissible only with a parapet form unless they are permitted by the next subsection: laneway garages with lofts with transverse gables.</li> </ul>	<ul style="list-style-type: none"> <li>Rendered and painted brick</li> <li>Corrugated steel roofing of traditional profile.</li> <li>Timber or metal bi-fold doors, panel-lift doors or roller shutters are permitted</li> <li>Roller shutter permissible only if set within a masonry surround</li> <li>Paint finish to all doors (dark colour recommended)</li> </ul>
<b>LANEWAY GARAGES WITH LOFTS</b> (only permitted in appropriate situations in West Woollahra and Grafton precincts and Sisters Lane) (See C13 and C13a)	<ul style="list-style-type: none"> <li>Preserve original stables with lofts</li> <li>Do not dominate existing cottages to residential lanes</li> <li>Build on rear boundary</li> <li>Minimise ramp up to garage</li> <li>Contemporary design based on traditional forms and proportions, rather than the imitation of a historic design, is preferred</li> </ul>	<ul style="list-style-type: none"> <li>Maximum garage door height 2200</li> <li>Minimum garage door width 2400</li> <li>Maximum garage door width 3300</li> <li>Maximum ridge height 5500</li> <li>Maximum eaves height:- - for gable ends 3900 - for transverse roof form 2700</li> </ul>	<ul style="list-style-type: none"> <li>Minimum 470 wide pillars</li> <li>Maximum 600 wide side pillars</li> <li>Single car access only</li> <li>Open second car space is permitted only with gates to lane</li> <li>Gable ended or transverse gable structure only is permitted</li> <li>Pitch and form of roof to match appropriate traditional roof.</li> </ul>	<ul style="list-style-type: none"> <li>Rendered and painted brick or weatherboard cladding</li> <li>Corrugated steel roofing of traditional profile</li> <li>Timber windows and dormers with weatherboard cladding</li> <li>Timber gates or timber panel-lift doors with dark paint finishes</li> <li>Metal roller shutter permissible if set within a masonry surround</li> </ul>

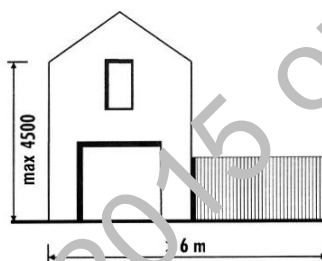
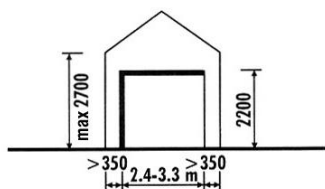
	Setting	Scale	Massing/form	Materials
<b>LANEWAY GARAGES WITH ROOF GARDEN</b>	<ul style="list-style-type: none"> <li>Build on rear boundary</li> <li>Minimise ramp up to garage</li> <li>Allow for 1000 wide (minimum) planting strip with fencing or balustrade (if required) to rear lane and side boundaries</li> </ul>	<ul style="list-style-type: none"> <li>Maximum door height 2200</li> <li>Minimum door width 2000</li> <li>Maximum door width 3300</li> <li>Maximum parapet height 3000</li> <li>Maximum height side fence at rear boundary 3000</li> </ul>	<ul style="list-style-type: none"> <li>Maximum 470 wide side pillars</li> <li>If height exceeds 3000, a transparent material should be used over</li> <li>Hedges and creepers are recommended within planting strip</li> </ul>	<ul style="list-style-type: none"> <li>Rendered and painted brick</li> <li>Concrete slab for roof garden</li> <li>Timber gates or timber panel-lift doors with paint finish</li> <li>Simple timber or metal balustrade over masonry may be parapet required, set back at least 500 from the boundary</li> </ul>
<b>LANEWAY CARPORT</b>	<ul style="list-style-type: none"> <li>Build on rear boundary</li> <li>Do not dominate existing cottages to residential lanes</li> <li>Minimise ramp up to garage</li> </ul>	<ul style="list-style-type: none"> <li>Maximum door height 2200</li> <li>Minimum door width 2400</li> <li>Maximum door width 3300</li> <li>Maximum parapet height 2700</li> <li>Maximum height side fence at rear boundary 2700</li> </ul>	<ul style="list-style-type: none"> <li>Maximum 470 wide side pillars</li> <li>Single doors only</li> <li>Flat roof or hipped forms preferred</li> <li>An integral masonry lintel supported on masonry piers with a minimum 350 reveals is required to accommodate door mechanisms</li> </ul>	<ul style="list-style-type: none"> <li>Timber/metal posts or masonry reveal.</li> <li>Rendered and painted brick</li> <li>Timber gates or timber panel-lift doors with paint finish</li> </ul>
<b>GARAGES WITH STREET ACCESS</b>	<ul style="list-style-type: none"> <li>Allowed only where cross-over exists</li> <li>Line of garage should be set back as far as possible from the front wall of the house</li> <li>Minimise ramp up to garage</li> <li>Single garages only to be permitted to streets.</li> </ul>	<ul style="list-style-type: none"> <li>Maximum door height 2200</li> <li>Minimum door width 2400</li> <li>Maximum door width 3300</li> </ul>	<ul style="list-style-type: none"> <li>Maximum 470 wide pillars</li> <li>Gable or parapet form preferred</li> <li>Roof pitch should match appropriate traditional roof pitch</li> </ul>	<ul style="list-style-type: none"> <li>Rendered and painted brick</li> <li>Roof material to be appropriate to the building with which garage is associated.</li> <li>Doors should relate to style of house</li> <li>Timber panel lift is preferred</li> </ul>

**Laneway garages with parapet roof form**

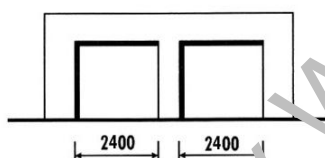


**Laneway garages with roof lofts**

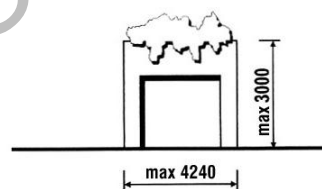
**Laneway garages with gabled roof form**



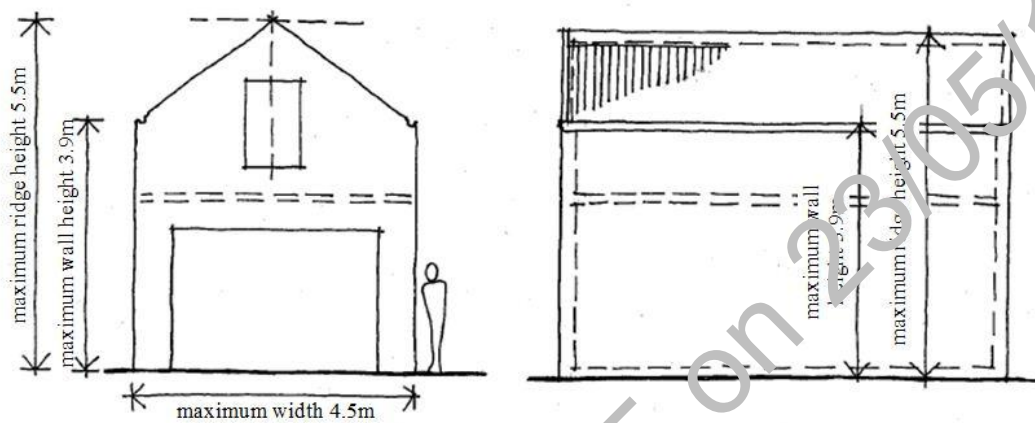
**Laneway double garages**



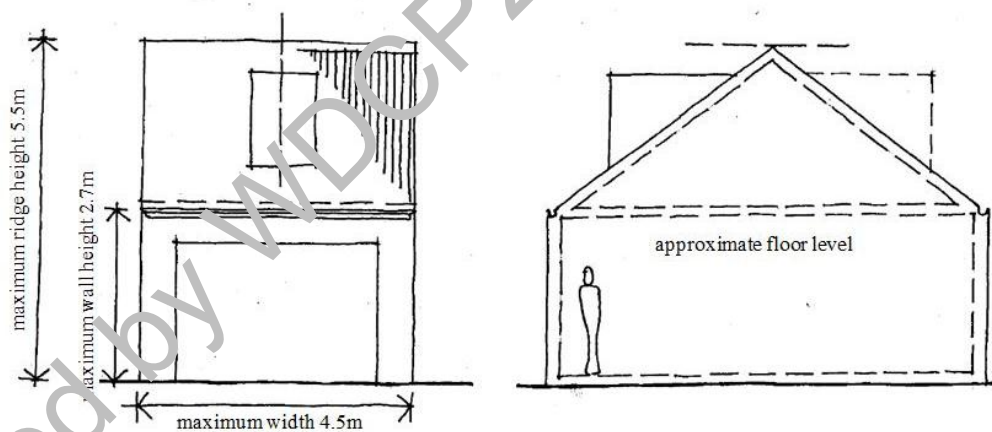
**Laneway garages with roof gardens**



**Figure 3.30 Garage maximum dimensions.**



**Figure 3.30a Gable-ended loft structure example (including dimension controls)**



**Figure 3.30b Transverse loft structure example (including dimension controls)**

### 3.4.10 Security

#### Explanation

Obtrusive security devices, such as external metal grilles and roller shutters, detract from the appearance of individual buildings and the HCA as a whole.

#### Objectives

- O1 To discourage the addition of window and door grilles and to encourage the use of alternative security measures.
- O2 Where there is no alternative to the installation of window grilles, to ensure that they are designed and painted to be unobtrusive and do not contain decorative pseudo-period detail.

#### Controls

- C1 Where additional security is required for buildings, it is to be provided by the least obtrusive method, such as mortice deadlocks, window locks, alarm system or internal security grilles. External shutters may also be appropriate if shutters were original to the building. External security grilles to windows and doors are discouraged within the HCA.
- C2 Where there is no alternative, the installation of external security bars are permitted provided grilles consist of simple unembellished rectangular bars in a vertical pattern or a pattern that reflects the configuration of the glazing bars of the window or door frame. Clear plastic security film may be attached to the internal face of glazing.
- C3 Roller shutters will not be permitted to windows or doors within the HCA.

### 3.4.11 Advertising

#### Explanation

Traditionally, signage to retail and commercial buildings was painted directly on building elements. It is usually relatively easy to locate new signs on historic retail and commercial buildings, as they allowed for integrated signage – painted on awnings or hanging underneath them or painted on parapets, elevations and windows.

Locating signs on buildings not originally intended for retail use is more difficult, as they have the potential for a greater impact on heritage significance.

#### Objectives

- O1 To conserve existing signs that have cultural significance.
- O2 To promote well designed signs in appropriate locations.
- O3 To minimise the number of signs.
- O4 To minimise the impact of signs on the heritage significance of individual buildings and the HCA generally.

#### Controls

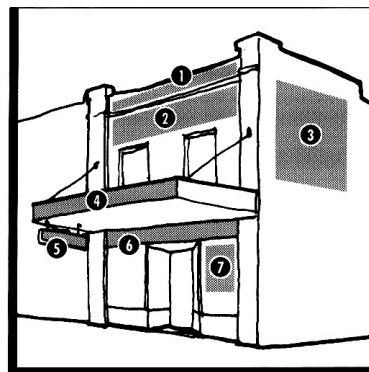
##### Number

- C1 The number of signs is to be limited to those necessary to display the name of the business and/or proprietor and/or building (if applicable) with minimum reference to the particular service provided or products available from the premises.
- C2 Any advertising not related to the business being conducted from the premises is not permitted.

##### Location

- C3 Advertising signs for retail and commercial buildings are to be restricted to the following types:

- 1 Parapet sign
- 2 Elevation bay sign
- 3 Flush wall sign
- 4 Awning fascia sign
- 5 Under awning sign
- 6 Top hamper sign
- 7 Painted or etched window sign



**Figure 3.31 Advertising signs for retail and commercial buildings**

- C4 Where a building contains more than two tenants, a directory of tenants should be provided at ground-floor level in order to minimise the amount of advertising on the building.
- C5 Unobtrusive painted signs to upper-storey windows may be permitted at Council's discretion to

identify tenants when appropriate wall surfaces or other areas for advertising are not available.

- C6 The erection of roof signs, above-awning projecting wall signs, pylon or pole signs is not permitted,
- C7 Decorative forms, mouldings and other distinguishing features of a building must not be obscured by signage.
- C8 Painted signs on shopfront windows must not dominate or clutter the window.

### **Materials, colour, style and size**

- C9 The design and size of signs is not to dominate the architectural character of the building or adjoining buildings and must respond appropriately to the physical context and historical background of the streetscape, precinct and HCA as a whole.
- C10 Hamper signs, whether painted or internally illuminated, shall be flush to the external face of the shopfront where practicable, but in any case shall not project more than 100 mm. Width of this class of sign shall be limited to a maximum of 600mm, length to a maximum of 6000mm, subject to the sign terminating 600mm short of each side boundary.
- C11 Under awning illuminated or painted signs shall be limited to a maximum depth of 300mm, a maximum length of 2600mm (or two thirds width of the footpath) whichever is the lesser and be erected at a uniform height to match, as far as possible, the adjoining signs and in no case be lower than 2600mm from the level of the footpath.
- C12 The total advertising area permissible under this code shall not exceed a factor of 1.1 square metres for each metre or part thereof of frontage of that tenancy to the public road.
- C13 The colours used in signs must be suitable for the architectural period of the building. Fluorescent and iridescent paints are inappropriate. Corporate colours may appear as part of advertising signs, but are not to be used as the principal or dominant colour scheme for buildings.
- C14 The style of lettering used in signs is to be suitable for the architectural period of the building and the historic character of the area.
- C15 Neon signs and neon lettering is to be restricted to under awning signs and minor signs inside the shop window.
- C16 Flashing, running or moving signs are not permitted.
- C17 Where a number of tenancies occupy the same building or row of properties, consistency of sign shape, background colour, size, fixing methods and lighting is required. Consistency of fonts and graphics is preferred. Consistency in signs between neighbouring buildings which have a common architectural style, whether traditional or contemporary, is also encouraged.
- C18 Size and positioning of text and graphics must consider persons with disabilities, especially those with vision or mobility impairment. See the Australian Standard 1428.2 - 1992, Design for Access and Mobility Part 2.
- C19 Materials are to be restricted to those which were traditionally used for signs; that is, painted timber or board, engraved metal plaque or painted masonry. With the exception of metal plaque, these materials are characterised by their non-reflectivity.

### **Lighting**

- C20 Floodlighting of signs may be acceptable where the lighting would not adversely affect residential amenity. Floodlights should employ gates to minimise light spill.
- C21 The lighting of signs must be discreet and be from a concealed source. Lighting will not be permissible where it impacts on the heritage fabric or presentation of the place.

- C22 Minimal low-voltage lighting designed into the signage bracket, awning or shopfront structure may be acceptable. All transformers associated with low-voltage lighting must be concealed.

### 3.4.12 Acoustic and visual privacy

#### Explanation

Levels of acoustic and visual privacy are major determinants of the ability of residents and their neighbours to enjoy living in their homes.

The privacy needs of residents and neighbours should be considered at all stages of design, including the location of new buildings or alterations and additions, the placement of windows and the selection of materials and construction techniques.

Visual privacy can be achieved by layout that prevents overlooking or by incorporating screening and separation.

The required level of acoustic isolation depends upon the location of habitable rooms relative to noise sources such as air conditioning units, swimming pool pumps and major roads. Construction details need to be carefully considered to maximise acoustic privacy both within and between buildings.

#### Objectives

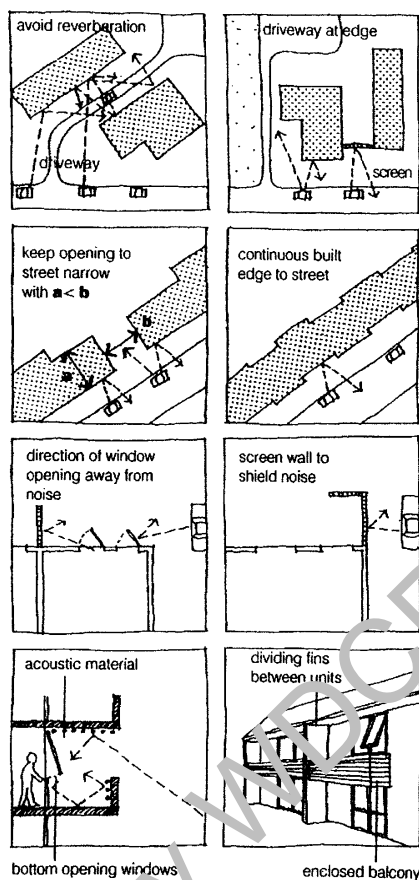
- O1 To ensure an adequate degree of acoustic and visual privacy in building design.
- O2 To minimise the impact of new development, which includes alterations and additions to existing buildings, on the acoustic and visual privacy of existing development on neighbouring land.

#### Controls

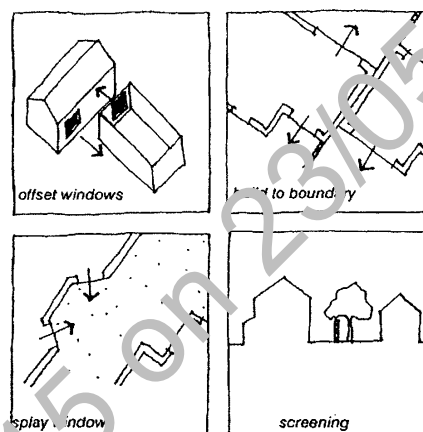
- C1 Shared walls and floors between dwellings are to be constructed in accordance with the sound transmission and insulation requirements of the Building Code of Australia. Particular attention should be given to situations where living rooms are proposed to adjoin sleeping areas.
- C2 Bedrooms of one dwelling are not to share walls with living rooms or garages of another dwelling.
- C3 Bedroom windows are to be located at least 3.0m from streets, shared driveways and parking areas of other dwellings.
- C4 In sensitive locations, such as on busy roads or where commercial, retail or other non residential buildings are close to residential properties, an acoustic report prepared by a suitably qualified and experienced professional may be required by the Council as part of the site and context analysis process.
- C5 Sound attenuation measures such as acoustic glazing and insulation are to be provided for new development close to high-noise sources such as busy roads and the Eastern Suburbs railway line. The design in these circumstances is to be certified by a qualified Acoustic Engineer.
- C6 Electrical, mechanical, hydraulic and air conditioning equipment is to be housed so that it does not create an 'offensive noise' as defined in the Protection of the Environment Operations Act 1997, either within or at the boundaries of any property at any time of the day.
- C7 Windows, balconies, screening devices and landscaping must be located to minimise direct overlooking of the main living areas and private open spaces of neighbouring properties.
- C8 Windows to bathrooms, toilets, laundries and storage rooms must be fitted with obscure glazing if they allow direct views to or from main living areas and private open spaces of neighbouring

properties.

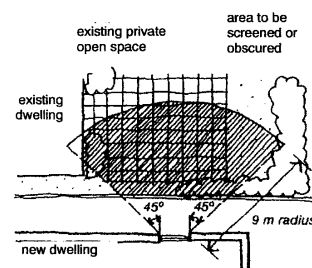
- C9 Rear and side balconies must not impact on the privacy of the building's occupants and on the occupants of neighbouring properties. This may require the use of privacy screens, which should be designed with regard to the architectural style of the building.
- C10 Bedroom areas are to be separated by distance or barriers from on-site noise sources such as active recreation areas, car parks, vehicle accessways and service equipment areas.
- C11 Habitable room windows with a direct sightline to another dwelling's habitable room windows within 9.0m must:
- be offset by a distance sufficient to restrict views into the other window; or
  - have sill heights of 1.7m above floor level; or
  - have fixed obscure glazing in any part of the window less than 1.7m above floor level.
- C12 Direct overlooking of the main living areas or private open space of an existing dwelling from windows, balconies, stairs, landings, terraces and decks or other private, communal or public areas within a development is to be obscured or screened. No screening is required where:
- windows are in bathrooms, toilets, laundries, storage rooms or other non-habitable rooms and have obscure glazing or a sill height of 1.7m or more above floor level; or
  - windows are in habitable rooms and have a sill height of 1.7m or more above floor level or obscure glazing in any part of the window less than 1.7m above floor level.
- C13 Screens are to be designed with regard to the architectural style of the building.
- C14 Windows and balconies of an upper level dwelling should be designed to prevent overlooking of the private open space of a lower-level dwelling directly below and within the same development.
- C15 Balconies should be designed to provide privacy for occupants of the building when viewed from the street or nearby public space without the balcony detailing conflicting with period detailing.



**Figure 3.32 Potential design options to maximise acoustic privacy.**



**Figure 3.33 Potential design options to maximise visual privacy.**



**Figure 3.34 Screening views to adjacent open space.**

### 3.4.13 Stormwater management

Stormwater management is required to protect people and property during floods. Stormwater management is also required to ensure that stormwater does not adversely impact on the quality of natural waterways. 'Stormwater harvesting', where stormwater is saved in rain tanks for gardening, washing and toilet flushing, helps to reduce the unnecessary consumption of domestic water supplies and the amount of run-off entering the drainage system. Minimising household water consumption reduces the pressure of new development on domestic water supplies.

#### Objectives

- O1 To control stormwater quality and quantity and avoid discharge impacts on adjoining properties and natural waterways.
- O2 To maximise the multiple use of stormwater management areas for recreation and amenity.
- O3 To reduce the pressure of new housing development on domestic water supply and storm drainage infrastructure.

#### Controls

##### Stormwater disposal

- C1 Stormwater controls are designed to:
  - ensure that existing downstream systems are not adversely affected;
  - fit in with the hydrology of the natural system as much as possible;
  - use on-site stormwater retention;
  - take advantage of opportunities for stormwater re-use, such as the use of rainwater tanks;
  - consider the distribution of soil types and the scope for on-site infiltration in areas where this will not contribute to slope instability or ground water pollution.
  - prevent any unexpected rise in ground water level due to development.
  - retain existing trees.
- C2 New or existing stormwater drainage systems that drain to the council system after passing over other private properties must provide evidence of the existence of a private drainage easement.
- C3 The continued use of aging infiltration systems such as 'rubble pits' and 'soak aways' are not permitted, as these systems have a finite life. On site water retention is no longer permitted.
- C4 Existing stormwater drainage systems that drain to the sewer are not in compliance with Sydney Water or Council requirements. Discharge to the Council system is required.

### Multiple use of drainage areas

- C5 On large sites, open space is integrated with stormwater drainage systems using water sensitive urban design principles.

### Water conservation

- C6 Housing design incorporates the following measures to minimise water consumption:
- rain tanks with direct plumbing to dwellings to reduce mains water consumption and minimise the amount of stormwater entering the drainage system;
  - dual flushing toilet systems;
  - where suitable, roof gardens to reduce stormwater run-off and provide insulation;
  - locating and grouping plants to reduce water use;
  - using an irrigation system to minimise water waste and ensuring that the system responds to the varying water needs of different sections of the garden;
  - maximising water retention within gardens by directing run-off from impervious areas and water tanks to vegetation (see Figures 3.35 and 3.36).

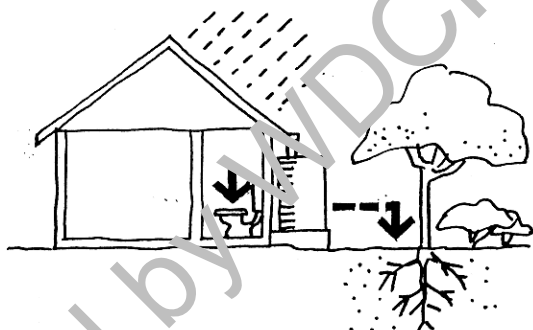


Figure 3.35

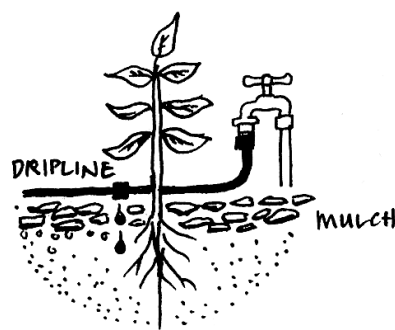


Figure 3.36

### 3.4.14 Site facilities and aerial devices

#### Explanation

The roofs of the HCA are integral components of its character and heritage significance. The introduction of unsympathetic and uncharacteristic elements such as satellite dishes, solar heating devices and aerials can have an adverse impact on the aesthetic significance of individual buildings and precincts and the area as a whole. Fixing these structures onto roofs and chimneys can also damage the original fabric and detail.

The location and design of site facilities such as mail boxes, garbage storage areas, external storage facilities, clothes drying areas and laundry facilities can have an adverse impact on the appearance and character of the area and should therefore be carefully considered.

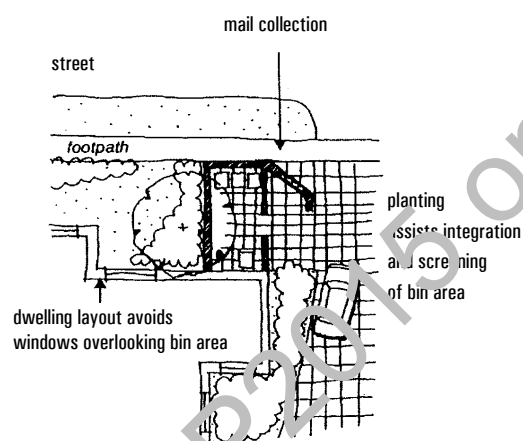
#### Objectives

- O1 To retain the character of the original roofscape of the HCA.
- O2 To protect the original fabric and details of roofs and chimneys.
- O3 To ensure that satellite dishes, solar heating devices, hot water heaters, air conditioning units and ducts, aerials and similar devices do not detrimentally impact on the character and significance of individual buildings and the streetscape.
- O4 To ensure that adequate provision is made for essential site facilities, such as laundries, clothes lines and garbage receptacles.
- O5 To ensure that the essential site facilities are functional and accessible to all residents and are easy to maintain.
- O6 To ensure that site facilities are thoughtfully integrated into development and are unobtrusive.

#### Controls

- C1 Service infrastructure of all new or replacement development should be located underground.
- C2 Satellite dishes, solar water heaters, solar electricity generators, air conditioning units and ducts, aerials and similar devices:
  - are to be sized and designed to minimise their visual impact and impact on the amenity of the adjoining properties and neighbouring lands;
  - must not be located on any part of the roof or chimney which is visible from the street frontage or the public domain and are visually unobtrusive to adjoining properties;
  - must not have a detrimental impact on the architectural and heritage character of the building to which they are attached.
- C3 Television aerials are to be located within the roof area where practicable. If this option is not suitable for reasons such as lack of space or if the area is being used for storage or habitation, the aerial should be located on a secondary rear roof rather than attached to a main chimney.
- C4 Site facilities, including mail boxes, garbage storage areas, external storage facilities, clothes drying areas and laundry facilities, should be unobtrusively integrated into new development.

**Figure 3.37 Mail and garbage areas should be integrated with the building and landscaped areas.**



### 3.4.15 Energy efficiency

#### Explanation

Energy efficiency provisions aim to promote ecologically sustainable development (ESD) by minimising greenhouse gas emissions and the consumption of non-renewable resources resulting from residential development. Energy efficiency can lead to significant cost savings for households.

Applications for new dwelling houses, new residential flat buildings and major alterations and additions to both (this is where the work equals or exceeds 50% of the gross floor area of the existing building) are to be accompanied by a House Energy Rating Management Body (HMB) Assessor Certificate prepared by a HMB accredited assessor demonstrating the proposal's compliance with a minimum Nationwide House Energy Rating Software (NatHERS) rating of 3.5 stars.

Note: NatHERS is a computer program developed by the CSIRO to calculate the energy performance of housing developments across Australia. Accredited Assessors, trained in the use of the NatHERS software, can be located via the HMB website at [www.hmb.net.au](http://www.hmb.net.au).

Below is a list of design considerations for maximising energy efficiency: (They are not a definitive list and should be read in conjunction with information provided in Council's facts sheets and any other accredited information).

#### *Orientation*

The orientation of living areas relative to the sun's movement can significantly influence amenity, internal temperatures and demand for heating appliances. Living areas should be orientated towards the north for maximum solar access (see Figure 3.38).

#### *Lighting*

The building should be designed so that artificial light in individual dwellings is unnecessary during daylight hours, and use of energy efficient lamps and fittings, requiring less than 3 watts/m<sup>2</sup> of installed lighting.

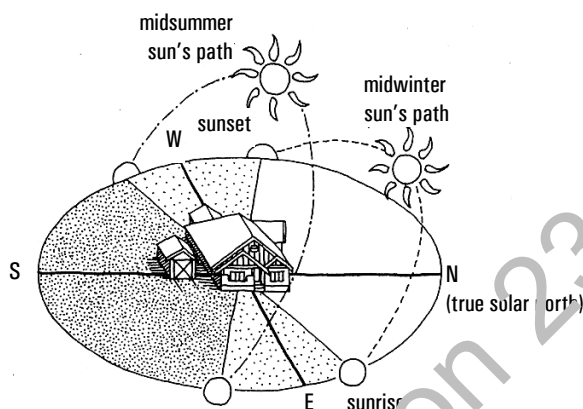
#### *Space heating and cooling*

The selection of an energy efficient heating/cooling system should be made during the development design stage. Heating/cooling systems should target only those spaces which require heating or cooling and ensure efficient distribution/re-distribution of air. Where heating or cooling is required, these areas can be separated from other parts of the dwelling by walls and doors. Where a space heating and cooling system is installed, it should be selected for maximum energy efficiency.

#### *Thermal mass*

Heavyweight building materials, such as concrete slab floors, cavity brick, concrete blocks, stone walls, mud brick and rammed earth, absorb heat during the day and release it at night, resulting in cooler indoor conditions during the day and warmer conditions at night.

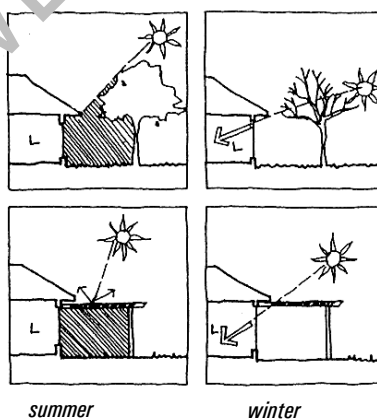
To be most effective, materials with thermal mass should be located inside the insulated fabric of the dwelling in north facing rooms.



**Figure 3.38 Differences in the sun's apparent movement throughout the year need to be considered in the location and design of windows, living areas, landscaping and shade devices.**

#### *Glazing*

Glazing in north-facing rooms maximises solar penetration to dwellings during cooler months. Glazing with a southerly aspect should generally be kept to a minimum, keeping in mind requirements for cross-ventilation and natural light. It is preferable to minimise glazing to the east and west of a building where the sun will be at its lowest angle and where it is difficult to prevent heat intake during warmer months (see Figure 3.38). Where dwellings have major windows facing between  $110^\circ$  east and  $110^\circ$  west of north, they should be designed to be energy efficient (ie: low emissivity or double glazed).



**Figure 3.39**

#### *Shading and Landscaping*

Wide canopied deciduous trees and deciduous vines grown on pergolas to the north of dwellings will provide shade during warmer months and allow sunlight penetration during cooler months. As many deciduous species can block sun during early autumn and late spring, the use of eaves to control sun penetration is desirable (see Figure 3.39). Evergreen trees to the west and east of dwellings where the sun will be at a low angle in the mornings and afternoons will prevent glare and heat during warmer months.

Landscaping can also be used to screen prevailing winds, deflect cooling summer breezes into dwellings, provide cooling air through leaf transpiration, reduce glare and modify temperatures throughout the year.

### *Air Movement*

Harnessing cooling breezes and providing fresh air indoors is important during warmer months. Maximum air movement can be obtained by locating smaller openings low on the windward side and large openings high on the leeward side. The size and location of windows can also influence cross-ventilation.

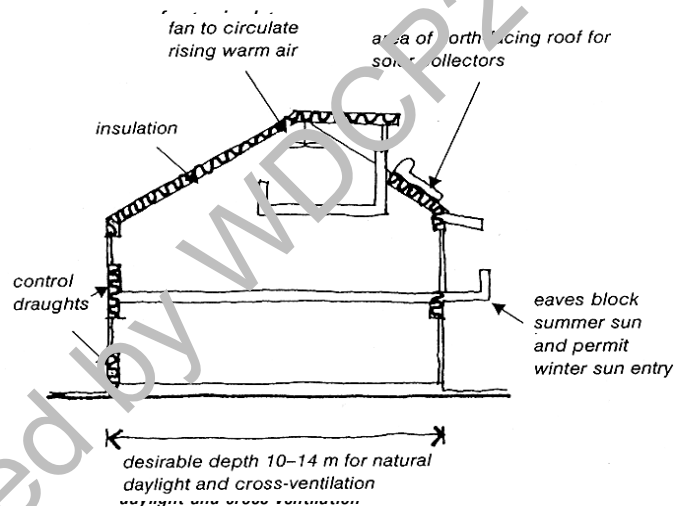
### *Insulation*

Insulation and weather sealing are the most important determinants of heat loss and gain. Generally, bulk and reflective foil laminate insulation of the roof and walls will be required (see Figure 3.40).

### *Appliances*

Considerable energy savings can be achieved through the choice, location and use of services, lighting and appliances within dwellings. The most intensive appliances are those used for heating and cooling the dwelling during winter and summer.

Appliances with maximum energy efficiency should be installed, preferably labelled with 'Energy Smart' logos, including appliances such as: white goods, showerheads, light bulbs, water heaters and insulation.



**Figure 3.40 Some considerations for energy efficient housing**

### **Objectives**

- O1 To minimise fuel use and greenhouse gas emissions through the promotion of energy efficiency in the design, construction and use of housing.
- O2 To maximise the benefits of passive solar design.
- O3 To improve the energy efficiency of dwellings.
- O4 To reduce the necessity for mechanical heating and cooling.
- O5 To promote the installation of greenhouse-friendly hot water systems and other energy efficient appliances.
- O6 To maximise the use of natural light and minimise energy use for internal lighting.

## Controls

### Dwelling-houses

- C1 Development applications for new-dwelling houses and for major alterations and additions to dwelling-houses are accompanied by a HMB Assessor Certificate from an accredited HMB Assessor demonstrating a minimum NatHERS (or equivalent) star rating of 3.5 stars.
- C2 Buildings are sited and designed to maximise midwinter solar access to north-facing windows of habitable rooms and principal areas of open space, having regard to slope, views, existing vegetation and overshadowing.
- C3 Dwelling-houses include at least one north-facing room capable of use as a habitable room (see Figure 3.41).
- C4 Windows to north-facing habitable rooms receive at least 3 hours of sun between 9.00am and 3.00pm on 21 June over a portion of their surface.
- C5 Windows are suitably shaded to restrict summer sun while permitting winter sun. North facing roof overhangs or shading devices are to be at least 0.45 times the height measured from the bottom of the glass to be shaded (see Figure 3.42).
- C6 External clothes drying areas with access to sunlight and breezes are available to dwellings.

### Residential flat buildings

- C7 A satisfactory Energy Performance Statement (EPS) is to be submitted with the development application for new residential flat buildings and major alterations and additions to residential flat buildings. An EPS demonstrates how the intent of the RDCP has been met and evaluates the performance of the proposal in relation to issues such as solar access, hot water systems, overshadowing and landscaping.
- C8 Achieve a minimum NatHERS rating of 3.5 stars. A HMB Assessor Certificate needs to be submitted with the Development Application.
- C9 For residential flat buildings containing four or more dwellings, and to achieve good natural ventilation:
  - not more than 25% of all dwellings should be single aspect;
  - single aspect dwellings should be limited in depth to 8 metres from a window;
  - the back of a kitchen should be no more than 8 metres from a window.
  - the width of cross-over or cross-through dwellings over 15 metres deep should be 4 metres or greater to avoid deep, narrow dwelling layouts.
- C10 External clothes drying areas with access to sunlight and breezes are available to dwellings.

### Solid fuel heaters

- C11 Chimneys or flues are vertically positioned to allow for efficient gas flow and to avoid trapping condensation.
- C12 Chimneys or flues are higher than 1 metre above the height of any structure and/or feature within a 15 metre horizontal radius of the chimney or flue. In some areas, for reasons of topography, a height of up to 5 metres above any structure within a horizontal radius of 30 metres will be required, but may not be permitted if it has an adverse impact on the significance of the area.

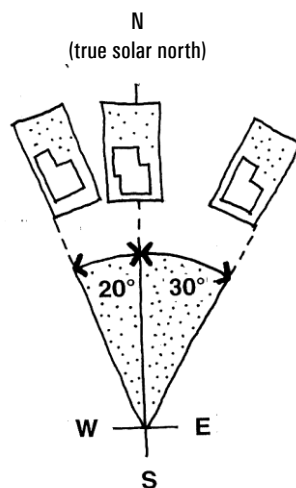


Figure 3.41 "North-facing" refers to rooms and open space areas located on the northern side of buildings. These areas are likely to benefit most from solar access.

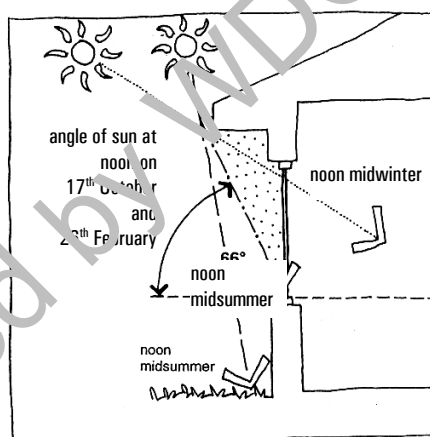
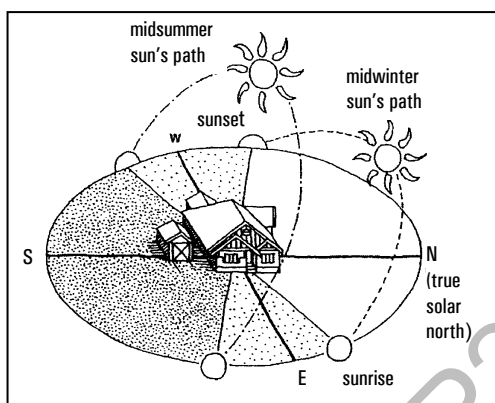
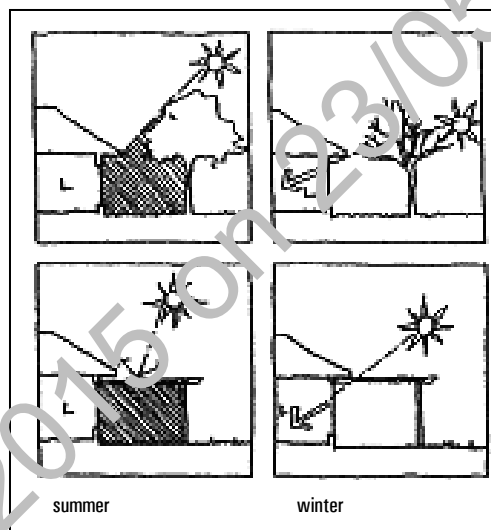


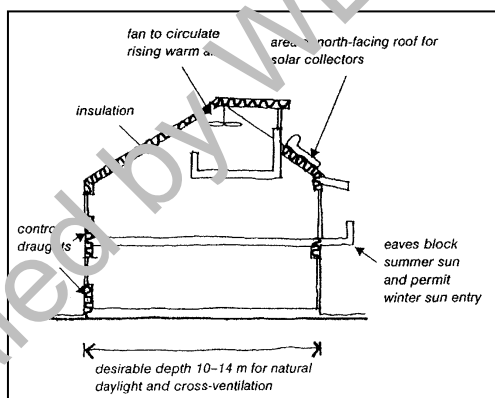
Figure 3.42 The size of the appropriate roof overhang for north-facing walls and windows is calculated by making an angle of  $66^\circ$  between the base of the glazing and the edge of the eaves.  $66^\circ$  is the angle of the sun at noon on 17th October and 26th February - it is between these dates that shading will generally be required to prevent hot summer sun from entering the dwelling.



**Figure 3.43 Sun control considerations.**



**Figure 3.44 Protection of north-facing walls and windows.**



**Figure 3.45 Considerations for energy efficient housing.**

### 3.4.16 Access and mobility

#### Explanation

Access and mobility provisions aim to promote the social welfare of the community through the provision of accessible and adaptable housing as well as improved access for the aged and disabled to new developments and public areas. The *Disability Discrimination Act (DDA) 1992* makes it unlawful to discriminate against people with disabilities in all areas of public life, including access to, and the use of, buildings and places.

The provisions contained in the Access Development Control Plan (DCP) provide guidance to developers on the access requirements for development within the Municipality of Woollahra. The Access DCP also encourages adaptable and accessible housing as well as building modifications to provide visitation by disabled persons.

#### Objectives

- O1 To encourage new buildings and associated spaces to be accessible and useable by all people in the community, including people with disabilities.
- O2 To create appropriate levels of access when alterations and additions are proposed to existing buildings, including existing commercial buildings.
- O3 To promote sustainable development by extending the use of new and existing buildings through the provision of accessible and adaptable housing requirements and by increasing the number of accessible and adaptable houses in the LCA.

#### Control

- C1 Compliance with the requirements of the Access DCP.

Repealed by WDCP2015 on 23/05/15

# PART 4

Repealed by WDCP2015 on 23/05/15

Repealed by WDCP2015 on 23/05/15

# Public domain

## PART 4

### Explanation

The public domain describes those areas of land owned and/or managed by Council or other public authorities. The public domain includes roadways, gutters, kerbs, footpaths, street name inlays, retaining walls, landscaped verges and reserves, natural landforms and other elements located beyond private property boundaries.

The public domain plays a significant role in determining the overall character of the Woollahra HCA. It is therefore important that a consistent approach is taken to managing public domain elements. In addition to the following provisions, the general development objectives and controls in part 3 of this plan also apply within the public domain.

### Objectives

- O1 To ensure that existing elements of the public domain that contribute towards the distinctive character of the Woollahra HCA are conserved.
- O2 To ensure that new elements are appropriately designed and managed to retain and enhance the character of the area and its precincts.
- O3 To ensure that new elements within the public domain are discreet and unobtrusive in terms of colours, materials and location.

## 4.1 Landscape elements

### Controls

#### 4.1.1 Street trees

- C1 Selected tree species should have the following characteristics:
  - consistency with the period planting of the suburb.
  - root systems that are not invasive to drains, underground pipes or building foundations
  - root systems that do not cause upheaval of pavements, kerb and gutters
  - ability to withstand and thrive in the harsh microclimate and soil conditions of Woollahra's streets
  - a growth habit that will permit the development of a clean trunk to a minimum height of 2.4m
  - foliage that permits a reasonable level of solar access to buildings in winter; that is, evergreen trees with dense canopies may be inappropriate
- C2 Trees in residential streets should be planted only in locations where there is sufficient width in the footpath to permit a minimum of 1.2 metres of unimpeded pedestrian access at maturity. In retail streets such as Queen Street, Ocean Street and Edgecliff Road, the minimum clearance should be 1.5m. In broad scale streets with narrow footpaths, it may be possible to plant trees within the road carriageway.
- C3 Major avenues and other significant street trees in Woollahra are to be conserved and managed and a replacement strategy established.
- C4 The phased removal of inappropriately planted trees should be undertaken as a component of an overall street tree strategy. This should include the removal or thinning of trees from small scale streets and narrow footpaths and the removal of species that do not comply with established themes.

C5 Where necessary:

- tree pits are to be installed so that roots are isolated from underground services
- tree guards are to be installed to deter vandals and prevent vehicle damage.

#### 4.1.2 Parks

- C6 The formal layout of existing parks should be retained or reinstated so that placement of built elements, path location and cultural planting reflect the key development period of the park.
- C7 Structures such as toilet blocks, playgrounds, shade structures and shelters should be located to protect and enhance public vistas and designed (in terms of their character scale, massing, form, colour and materials) to enhance the character of the HCA.

#### 4.1.3 Steps, ramps, walls and railings

- C8 Original stone steps and retaining walls should be retained and conserved in place using appropriate conservation methods.
- C9 New steps should be designed
- so that their scale and proportion relates to the surrounding built form
  - for pedestrian comfort and safety, and
  - in accordance with the relevant Australian Standards
- C10 Materials for new steps should be concrete or sandstone, depending on the historical background and significance of their location.
- C11 Steps and ramps should be assessed for opportunities to incorporate multi-levelled pocket parks with seating, amenities and vistas.
- C12 Railings should be appropriate to nearby contributory buildings and the streetscape.
- C13 New retaining walls should be designed to be similar in character, height and materials to traditional retaining walls in the area. Appropriate materials may include sandstone and face brick.

### 4.2 Street furniture

#### Controls

##### 4.2.1 General

- C1 The design of new street furniture items should have regard to the following parameters:
- functionality (design for ergonomic comfort and ease of use, consideration of social and interactive behaviour patterns)
  - suitability to the Woollahra HCA context
  - safety
  - durability, robustness and resistance to vandalism
  - maintenance
  - compliance with relevant Australian Standards
  - affordability and
  - an integrated street furniture range for Woollahra that is contemporary in spirit and designed to complement the unique location and heritage of the Woollahra HCA.

#### 4.2.2 Bollards

- C2 The design of bollards should incorporate structural strength in a slender contemporary shape. Large concrete or replica historical bollards are not appropriate.
- C3 Bollards should be pressed or cast metal and have a fine appearance. Bollards should function as barriers, be able to be linked by chains, be easily removable and be able to incorporate a reflector.
- C4 Existing bollards that do not comply with these controls should be removed and replaced with appropriately designed bollards.

#### 4.2.3 Seats

- C5 Seats should be provided at bus stops, at shopping centres and for the appreciation of vistas and views.
- C6 The area around seats should be suitably treated so that seats are accessible to wheelchair users.
- C7 The location of seats should take into account shade, wind and rain protection and the proximity to pollution and noise.

#### 4.2.4 Rubbish bins

- C8 Rubbish bins should be non-intrusive and contemporary in design.
- C9 Rubbish bins should be located only within commercial or recreational areas or at bus stops.

#### 4.2.5 Bus shelters

- C10 Shelters should be designed to be transparent and well lit to promote user safety.
- C11 New bus shelters should be contemporary in design.

#### 4.2.6 Drinking fountains

- C12 Drinking fountains should be designed to be easily useable by people of all ages, including those with disabilities.
- C13 Placement of drinking fountains should not inhibit pedestrian or wheelchair access along the footpath.

### 4.3 Roads, footpaths, kerbs and gutters and traffic elements

#### Controls

#### 4.3.1 Pavement surfaces

- C1 A continuity of surface treatments throughout street blocks should be maintained or provided in cases where replacement of surfaces is necessary.
- C2 A homogeneity of colour and texture in paving materials should be maintained.
- C3 Within the commercially zoned areas of Queen Street and Oxford Street, footpath detail and elaboration can occur.
- C4 Other than in Queen Street and Oxford Street, pavement surfaces should be asphalt or concrete. In appropriate locations, concrete which matches the early fly ash or 'depression' concrete should be used.
- C5 Texture rather than colour or line work should define zones of change.
- C6 All street name inlays in pavements are to be retained.

#### 4.3.2 Kerbs and gutters

- C7 All original fly-ash kerbs and gutters should be retained.
- C8 All original sandstone and trachyte kerbs and gutters should be retained where possible. If stone kerbs and gutters are required to be removed they should be stockpiled for reuse in new works.
- C9 Damaged original stone kerbs and gutters should be restored where possible or replaced with new stone kerbs and gutters detailed to match existing.
- C10 New crossovers and chicanes will not be permitted as they interrupt the original line of the streets and stone kerbing.
- C11 The kerb alignment should be retained parallel to the building line to preserve the character of streets.
- C12 Where footpaths are widened, original stone or fly-ash kerbs should be left in their original position so that the earlier street form can be understood.
- C13 The profile of all new kerbs should reflect the traditional kerb detail.
- C14 Where concrete kerbs are to be used, precast segmental elements are preferred.
- C15 All street name inlays in kerbs and gutters are to be retained.

#### 4.3.3 Cycle paths

- C16 Dedicated cycle lanes should be provided within the road carriageway in accordance with the Woollahra Bike Plan.

#### 4.3.4 Parking areas

- C17 Public off-street car parking areas should be planted with appropriate species to soften visual impact, provide shade and screen parking from adjacent residential development.

#### 4.3.5 Traffic management devices

- C18 Traffic and transport investigations are to be undertaken prior to the introduction of new traffic management devices. These investigations should, depending on their scope, include public participation and must include consideration of access issues generally for all people and the impact on heritage significance resulting from traffic management options to enable the least possible impact on significance.
- C19 The pedestrian network of laneways and public stairs has historic significance and should be retained.
- C20 The design and location of traffic management devices (such as traffic signals, speed humps, roundabouts and road signage) should not obscure public views and should minimise visual impact on significant items and the streetscape.
- C21 Traffic calming measures may include the installation of pedestrian signals at priority crossing points and the planting of shrubs and trees, including within the carriageway between car parking bays. Shrub and tree plantings must be carried out in accordance with the controls outlined in part 4.8: Street Trees.
- C22 Chicanes and roundabouts should be removed as new traffic calming measures are introduced.
- C23 To the extent allowed by statutory requirements, the number of traffic signs should be minimised.

#### 4.4 Signs and advertising

##### Controls

- C1 Signs should be provided to identify and, where appropriate, provide information on:
- special heritage sites
  - notable squares and junctions
  - pocket parks
  - major parks
  - heritage walks
  - walks to transport
  - bus services; and
  - shopping streets.
- C2 Signs should be discreet, of slender appearance and of contemporary design consistent with other street furniture.
- C3 Lettering should generally be dark on a light background.
- C4 Street name signs should, where possible, be attached to buildings.
- C5 Interpretive signs should incorporate brief historical information to assist in the comprehension of specific areas.
- C6 Parking and traffic control signs should be rationalised and, as far as statutory requirements allow, minimised.
- C7 Corporate and advertising signs are not permitted within the public domain.
- C8 The cumulative visual impact of a sign proposal should be assessed and the number of signs limited to avoid visual clutter.

## 4.5 Public art

### Controls

- C1 Selection of artworks should favour innovation and diversity.
- C2 Opportunities to showcase art by young designers may appear in places where transient displays are appropriate.
- C3 Public artwork should have resonance and meaning to the community of Woollahra.
- C4 Public art should be low-maintenance and vandal-resistant.

## 4.6 Views and vistas

### Control

- C1 New development in the public domain and street tree planting should respect existing view corridors and should be designed and located to minimise the impact on existing vistas and, where possible, improve existing vistas.

## 4.7 Services and street lighting

### Controls

#### 4.7.1 Services

- C1 Future substations should be recessed within a wall rather than freestanding.
- C2 Existing substations should be screened or treated so that their impact is minimised.
- C3 Overhead power lines and telecommunication lines should be located underground at key locations, including Queen Street, in order to protect significant vistas.
- C4 New excavation for the installation or repair of underground services should not damage significant stone or fly ash kerbs, guttering or footpaths or street name inlays. Patching of concrete pathways should match the fly-ash concrete. Stone kerbs and guttering must be carefully replaced in their original locations.
- C5 New services should be located so as not to conflict with substantial existing street trees.

#### 4.7.2 Street lighting

- C6 Appropriate public lighting should be provided in all open spaces within Woollahra.
- C7 New lighting fixtures should be of simple and sophisticated design. Replicas of historical fittings should not be used.
- C8 Lighting should be designed to fit the context, whether a wide or narrow street, back lane, street with or without building setback, end wall elevation or open space. Where possible, lighting fixtures should be discreet. Examples include wall lighting and street lighting suspended on cables over the street.

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- C9 Public lighting should be provided to ensure legibility and visual orientation for pedestrians and should enhance the sense of place.
- C10 The height and location of lighting fixtures should take account of
- the need for signage
  - vehicle usage and
  - the mature height of tree canopies
- C11 The intensity of lighting should be increased at pedestrian crossings, activity nodes and areas considered by the public to be threatening at night, such as pocket parks and public stairways.
- C12 Lighting should be energy efficient; for example, by incorporating solar-powered lighting systems and economy measures for usage during daylight saving periods where appropriate.

Repealed by WDCP2015 on 23/05/15

# PART 5

Repealed by WDCP2015 on 23/05/15

Repealed by WDCP2015 on 23/05/15

## Schedule of significant items

### PART 5

Street	Street Number	Description	H or C	Group Element	Precinct
<b>Adelaide Parade</b>	<i>Odd</i>				
Adelaide Parade	85	Victorian terrace house, front fencing	H	1 of 14	Fletcher
Adelaide Parade	87	Victorian terrace house, front fencing	H	2 of 14	Fletcher
Adelaide Parade	89	Victorian terrace house, front fencing	H	3 of 14	Fletcher
Adelaide Parade	91	Victorian terrace house, front fencing	H	4 of 14	Fletcher
Adelaide Parade	93	Victorian terrace house, front fencing	H	5 of 14	Fletcher
Adelaide Parade	95	Victorian terrace house, front fencing	H	6 of 14	Fletcher
Adelaide Parade	97	Victorian terrace house, front fencing	H	7 of 14	Fletcher
Adelaide Parade	99	Victorian terrace house, front fencing	H	8 of 14	Fletcher
Adelaide Parade	101	Victorian terrace house, front fencing	H	9 of 14	Fletcher
Adelaide Parade	103	Victorian terrace house, front fencing	H	10 of 14	Fletcher
Adelaide Parade	105	Victorian terrace house, front fencing	H	11 of 14	Fletcher
Adelaide Parade	107	Victorian terrace house, front fencing	H	12 of 14	Fletcher
Adelaide Parade	109	Victorian terrace house, front fencing	H	13 of 14	Fletcher
Adelaide Parade	111	Victorian terrace house, front fencing	H	14 of 14	Fletcher
Adelaide Parade		Sandstone retaining wall and railing facing Cooper Park	H		Fletcher
<b>Adelaide Street</b>	<i>Odd</i>				
Adelaide Street	17	Holy Cross Catholic Church – inter-war religious building	H		Grafton
Adelaide Street	19	Federation house	C		Grafton
Adelaide Street	21	Federation house	C		Grafton
Adelaide Street	55	Inter-war first building	C		Fletcher
Adelaide Street	57	Victorian terrace house	C	1 of 5	Fletcher
Adelaide Street	59	Victorian terrace house	C	2 of 5	Fletcher
Adelaide Street	61	Victorian terrace house	C	3 of 5	Fletcher
Adelaide Street	63	Victorian terrace house	C	4 of 5	Fletcher
Adelaide Street	65	Victorian terrace house	C	5 of 5	Fletcher
Adelaide Street	67	Victorian semi detached house	C	1 of 2	Fletcher
Adelaide Street	69	Victorian semi detached house	C	2 of 2	Fletcher
Adelaide Street	71	Federation terrace house	C	1 of 7	Fletcher
Adelaide Street	73	Federation terrace house	C	2 of 7	Fletcher
Adelaide Street	75	Federation terrace house	C	3 of 7	Fletcher
Adelaide Street	77	Federation terrace house	C	4 of 7	Fletcher
Adelaide Street	79	Federation terrace house	C	5 of 7	Fletcher
Adelaide Street	81	Federation terrace house	C	6 of 7	Fletcher
Adelaide Street	83	Federation terrace house	C	7 of 7	Fletcher
<b>Adelaide Street</b>	<i>Even</i>				
Adelaide Street	32	Federation semi-detached house	C	1 of 2	Grafton
Adelaide Street	34	Federation semi-detached house	C	2 of 2	Grafton
Adelaide Street	36	Federation terrace house	C	1 of 6	Grafton
Adelaide Street	38	Federation terrace house	C	2 of 6	Grafton
Adelaide Street	40	Federation terrace house	C	3 of 6	Grafton
Adelaide Street	42	Federation terrace house	C	4 of 6	Grafton
Adelaide Street	44	Federation terrace house	C	5 of 6	Grafton
Adelaide Street	46	Federation terrace house	C	6 of 6	Grafton
Adelaide Street	48	Federation semi detached house	C	1 of 2	Grafton
Adelaide Street	50	Federation semi detached house	C	2 of 2	Grafton
Adelaide Street	52	Federation semi detached house	C	1 of 2	Grafton

Street	Street Number	Description	H or C	Group Element	Precinct
Adelaide Street	54	Federation semi detached house	C	2 of 2	Grafton
Adelaide Street	58	Federation terrace house	C	1 of 7	Fletcher
Adelaide Street	60	Federation terrace house	C	2 of 7	Fletcher
Adelaide Street	62	Federation terrace house	C	3 of 7	Fletcher
Adelaide Street	64	Federation terrace house	C	4 of 7	Fletcher
Adelaide Street	66	Federation terrace house	C	5 of 7	Fletcher
Adelaide Street	68	Federation terrace house	C	6 of 7	Fletcher
Adelaide Street	70	Federation terrace house	C	7 of 7	Fletcher
Adelaide Street	74	Federation house	C		Fletcher
Adelaide Street	76	Federation house	C		Fletcher
<b>Albert Street</b>	<i>Odd</i>				
Albert Street	1	Victorian semi-detached house	C	1 of 2	Rosemont
Albert Street	3	Victorian semi-detached house	C	2 of 2	Rosemont
Albert Street	5	Victorian semi-detached house	C	1 of 2	Rosemont
Albert Street	7	Victorian semi-detached house	C	2 of 2	Rosemont
Albert Street	9	Victorian semi-detached house	C	1 of 2	Rosemont
Albert Street	11	Victorian semi-detached house	C	2 of 2	Rosemont
Albert Street	13-15	Federation building	C		Rosemont
Albert Street	<i>Even</i>				
Albert Street	8	Fenton – Victorian house, gardens, gateposts, gates	H		Rosemont
Albert Street	12	Victorian religious building	C	1 of 2	Rosemont
Albert Street	14	Victorian house (Friary)	C	2 of 2	Rosemont
Albert Street	20	Inter-war house	C		Rosemont
Albert Street See also 18a	22	Inter-war flat building	C		Rosemont
Albert Street	24	Carmel - Inter-war house, gardens, gateposts, sandstone retaining walls	H		Rosemont
Albert Street See also 22	18a	Remnant garden terraces and stairs from 'Eynesbury', now demolished. Retaining Wall	C		Rosemont
<b>Alton Street</b>	<i>Odd</i>				
Alton Street	3	Victorian house	C		W Woollahra
Alton Street	19	Victorian house	C		W Woollahra
Alton Street	21	Victorian house	C		W Woollahra
Alton Street	23	Victorian terrace house	C	1 of 3	W Woollahra
Alton Street	25	Victorian terrace house	C	2 of 3	W Woollahra
Alton Street	27	Victorian terrace house	C	3 of 3	W Woollahra
Alton Street	<i>Even</i>				
Alton Street	2	Victorian house	C		W Woollahra
Alton Street	6	Victorian semi-detached house	C	1 of 2	W Woollahra
Alton Street	8	Victorian semi-detached house	C	2 of 2	W Woollahra
<b>Bathurst Street</b>	<i>Odd</i>				
Bathurst Street	3	Federation house	C		Harbour View
Bathurst Street	5	Federation house	C		Harbour View
Bathurst Street	7	Federation house	C		Harbour View
Bathurst Street	9	Inter-war flat building	C		Harbour View
Bathurst Street	11	Federation house	C		Harbour View
Bathurst Street	13	Federation house	C		Harbour View

Street	Street Number	Description	H or C	Group Element	Precinct
Bathurst Street	15	Federation house	C		Harbour View
Bathurst Street	17	Federation house	C		Harbour View
Bathurst Street	19	Federation house	C		Harbour View
Bathurst Street	21	Federation semi-detached house	C	1 of 2	Harbour View
Bathurst Street	23	Federation semi-detached house	C	2 of 2	Harbour View
Bathurst Street	25	Federation semi-detached house	C	1 of 2	Harbour View
Bathurst Street	27	Federation semi-detached house	C	2 of 2	Harbour View
Bathurst Street	29	Federation house	C		Harbour View
Bathurst Street	31	Federation house	C		Harbour View
Bathurst Street	33	Federation house	C		Harbour View
Bathurst Street	35	Federation house	C		Harbour View
Bathurst Street	37	Federation house	C		Harbour View
Bathurst Street	39	Federation house	C		Harbour View
Bathurst Street	41	Federation house	C		Harbour View
Bathurst Street	45	Federation house	C		Harbour View
Bathurst Street	<i>Even</i>				
Bathurst Street	2	Federation house	C		Harbour View
Bathurst Street	4	Federation house	C		Harbour View
Bathurst Street	6	Federation house	C		Harbour View
Bathurst Street	8	Federation house	C		Harbour View
Bathurst Street	16	Federation house	C		Harbour View
Bathurst Street	20	Federation house	C		Harbour View
Bathurst Street	22	Federation semi-detached house	C	1 of 2	Harbour View
Bathurst Street	24	Federation semi-detached house	C	2 of 2	Harbour View
Bathurst Street	26	Federation semi-detached house	C	1 of 2	Harbour View
Bathurst Street	28	Federation semi-detached house	C	2 of 2	Harbour View
Bathurst Street	30	Federation semi-detached house	C	1 of 2	Harbour View
Bathurst Street	32	Federation semi-detached house	C	2 of 2	Harbour View
Bathurst Street	34	Federation semi-detached house	C	1 of 2	Harbour View
Bathurst Street	36	Federation semi-detached house	C	2 of 2	Harbour View
Bathurst Street	38	Federation semi-detached house	C	1 of 2	Harbour View
Bathurst Street	40	Federation semi-detached house	C	2 of 2	Harbour View
Bathurst Street	42	Federation semi-detached house	C	1 of 2	Harbour View
Bathurst Street	44	Federation semi-detached house	C	2 of 2	Harbour View
Bathurst Street	46	Federation house	C		Harbour View
<b>Bowden Street</b>	<i>Odd</i>				
Bowden Street	1	Victorian semi-detached house	C	1 of 2	W Woollahra
Bowden Street	3	Victorian semi-detached house	C	2 of 2	W Woollahra
Bowden Street	5	Victorian terrace house	C	1 of 8	W Woollahra
Bowden Street	7	Victorian terrace house	C	2 of 8	W Woollahra
Bowden Street	9	Victorian terrace house	C	3 of 8	W Woollahra
Bowden Street	11	Victorian terrace house	C	4 of 8	W Woollahra
Bowden Street	13	Victorian terrace house	C	5 of 8	W Woollahra
Bowden Street	15	Victorian terrace house	C	6 of 8	W Woollahra
Bowden Street	17	Victorian terrace house	C	7 of 8	W Woollahra
Bowden Street	19	Victorian terrace house	C	8 of 8	W Woollahra
Bowden Street	<i>Even</i>				
Bowden Street	4	Victorian house	C		W Woollahra

Street	Street Number	Description	H or C	Group Element	Precinct
Bowden Street	6	Victorian house	C		W Woollahra
<b>Edgecliff Road</b>	<i>Odd</i>				
Edgecliff Road	11	Victorian semi-detached house	C	1 of 2	Fletcher
Edgecliff Road	13	Victorian semi-detached house	C	2 of 2	Fletcher
Edgecliff Road	15	Victorian house	C		Fletcher
Edgecliff Road	17	Inter-war flat building	C		Fletcher
Edgecliff Road	21	Federation terrace house	C	1 of 4	Fletcher
Edgecliff Road	23	Federation terrace house	C	2 of 4	Fletcher
Edgecliff Road	25	Federation terrace house	C	3 of 4	Fletcher
Edgecliff Road	27	Federation terrace house	C	4 of 4	Fletcher
Edgecliff Road	31	Victorian house	C		Fletcher
Edgecliff Road	49	Federation house	C		Fletcher
Edgecliff Road	51	Federation house	C		Fletcher
Edgecliff Road	53	Inter-war house	C		Fletcher
Edgecliff Road	55	Inter-war house	C		Fletcher
Edgecliff Road	63	Victorian house	C		Fletcher
Edgecliff Road	65	Victorian house	C		Fletcher
Edgecliff Road	67	Inter-war flat building	C		Fletcher
Edgecliff Road	69-71	Retaining wall and fence associated with Victorian house, now demolished.	C		Fletcher
Edgecliff Road	69	Inter-war house	C		Fletcher
Edgecliff Road	81	Norfolk Island Pine Holy Cross Primary School	H C		Fletcher
Edgecliff Road	87	Inter-war flat building	C		Fletcher
Edgecliff Road	99	Inter-war building	C		Fletcher
Edgecliff Road	101	Inter-war flat building	C		Fletcher
Edgecliff Road	113	Inter-war flat building	C		Fletcher
Edgecliff Road	115	Inter-war flat building	C		Fletcher
Edgecliff Road	117	Federation terrace house	C	1 of 3	Fletcher
Edgecliff Road	119	Federation terrace house	C	2 of 3	Fletcher
Edgecliff Road	121	Federation terrace house	C	3 of 3	Fletcher
Edgecliff Road	125	Federation house	C		Fletcher
Edgecliff Road	127	Federation house	C		Fletcher
Edgecliff Road	129	Federation house	C		Fletcher
Edgecliff Road	131	Victorian house	C		Fletcher
Edgecliff Road	133	Victorian house	C		Fletcher
Edgecliff Road	135	Victorian house	C		Fletcher
Edgecliff Road	137	Victorian house	C		Fletcher
Edgecliff Road	139	Victorian house	C		Fletcher
Edgecliff Road	141	Federation building	C		Fletcher
Edgecliff Road	143	Victorian house	C		Fletcher
Edgecliff Road	145	Federation commercial building	C		Fletcher
Edgecliff Road	147	Victorian house	C		Fletcher
Edgecliff Road	149	Inter-war commercial building	C		Fletcher
Edgecliff Road	151	Inter-war flat building	C		Fletcher
Edgecliff Road	153	Inter-war commercial building	C		Fletcher
Edgecliff Road	155	Inter-war commercial building	C		Fletcher
Edgecliff Road	157	Victorian terrace house	C	1 of 3	Fletcher
Edgecliff Road	159	Victorian terrace house	C	2 of 3	Fletcher

Street	Street Number	Description	H or C	Group Element	Precinct
Edgecliff Road	161	Victorian terrace house	C	3 of 3	Fletcher
Edgecliff Road	163	Inter-war commercial building	C		Fletcher
Edgecliff Road	165	Victorian house	C		Fletcher
Edgecliff Road	167	Victorian house	C		Fletcher
Edgecliff Road	169-173	Inter-war flat building	C		Fletcher
Edgecliff Road	177	Victorian terrace house	C	1 of 3	Fletcher
Edgecliff Road	179	Victorian terrace house	C	2 of 3	Fletcher
Edgecliff Road	181	Victorian terrace house	C	3 of 3	Fletcher
Edgecliff Road	181a	Inter-war commercial building	C		Harbour View
Edgecliff Road	183	Federation terrace house	C	1 of 5	Harbour View
Edgecliff Road	185	Federation terrace house	C	2 of 5	Harbour View
Edgecliff Road	187	Federation terrace house	C	3 of 5	Harbour View
Edgecliff Road	189	Federation terrace house	C	4 of 5	Harbour View
Edgecliff Road	191	Federation terrace house	C	5 of 5	Harbour View
Edgecliff Road	193	Federation house	C		Harbour View
Edgecliff Road	195	Federation house	C		Harbour View
Edgecliff Road	201	Victorian semi-detached house	C	1 of 2	Grafton
Edgecliff Road	203	Victorian semi-detached house	C	2 of 2	Grafton
Edgecliff Road	205	Victorian house	C		Grafton
Edgecliff Road	211	Inter-war flat building	C		Grafton
Edgecliff Road	217	Victorian house	C		Grafton
Edgecliff Road	219	Inter-war church Seventh Day Adventist	C		Grafton
Edgecliff Road	225	Federation house	C		Grafton
Edgecliff Road	233	Inter-war flat building	C		Grafton
Edgecliff Road	239	Victorian semi-detached house	C	1 of 2	Grafton
Edgecliff Road	241	Victorian semi-detached house	C	2 of 2	Grafton
Edgecliff Road	247	Victorian house	C		Grafton
Edgecliff Road	251	Victorian house	C		
Edgecliff Road	261	Inter-war house	C		Grafton
Edgecliff Road	267	Federation semi-detached house	C	1 of 2	Grafton
Edgecliff Road	269	Federation semi-detached house	C	2 of 2	Grafton
Edgecliff Road	273	Inter-war house	C		Grafton
Edgecliff Road	281	Althorne, Victorian house, front fencing	H		Rosemont
Edgecliff Road	281a	Norfolk Island Pine	H		Rosemont
		Inter-war flat building	C		
Edgecliff Road	285	Victorian semi-detached house	C	1 of 2	Rosemont
Edgecliff Road	287	Victorian semi-detached house	C	2 of 2	Rosemont
Edgecliff Road	289	Victorian semi-detached house	C	1 of 2	Rosemont
Edgecliff Road	291	Victorian semi-detached house	C	2 of 2	Rosemont
Edgecliff Road	293	Victorian semi-detached house and iron fencing	H	1 of 2	Rosemont
Edgecliff Road	295	Victorian semi-detached house and iron fencing	H	2 of 2	Rosemont
Edgecliff Road	295a	Inter-war flat building	C		Rosemont
Edgecliff Road	295b	Inter-war house	C		Rosemont
Edgecliff Road	299	Victorian house	C		Rosemont
Edgecliff Road	301	Federation house	C		Rosemont
Edgecliff Road	303	Victorian house	C		Rosemont
Edgecliff Road	305	Inter-war house	C		Rosemont



Street	Street Number	Description	H or C	Group Element	Precinct
Edgecliff Road	60	Federation semi-detached house	C	2 of 2	Grafton
Edgecliff Road	62	Federation semi-detached house	C	1 of 2	Grafton
Edgecliff Road	64	Federation semi-detached house	C	2 of 2	Grafton
Edgecliff Road	70-80	Federation school buildings, Reddam House formerly Holy Cross College	C		Grafton
Edgecliff Road	82-84	Federation house	C		Grafton
Edgecliff Road	86	Federation house	C		Grafton
Edgecliff Road	88	Federation house	C		Grafton
Edgecliff Road	90	Federation house	C		Grafton
Edgecliff Road	92	Federation house	C		Grafton
Edgecliff Road	94	Federation house	C		Grafton
Edgecliff Road	96	Inter-war flat building	C		Grafton
Edgecliff Road	104	Federation house	C		Grafton
Edgecliff Road	106	Federation house	C		Grafton
Edgecliff Road	108	Victorian terrace house	C	1 of 4	Grafton
Edgecliff Road	110	Victorian terrace house	C	2 of 4	Grafton
Edgecliff Road	112	Victorian terrace house	C	3 of 4	Grafton
Edgecliff Road	114	Victorian terrace house	C	4 of 4	Grafton
Edgecliff Road	116	Victorian house	C		Grafton
Edgecliff Road	118	Victorian house	C		Grafton
Edgecliff Road	120	Victorian corner shop	C		Grafton
Edgecliff Road	126	Inter-war flat building	C		Grafton
Edgecliff Road	128	Victorian terrace house	C	1 of 3	Grafton
Edgecliff Road	130	Victorian terrace house	C	2 of 3	Grafton
Edgecliff Road	132	Victorian terrace house	C	3 of 3	Grafton
Edgecliff Road	134	Mayfair, Inter-war commercial building	C		Grafton
Edgecliff Road	144-148	Inter-war commercial building	C		Grafton
Edgecliff Road	168	Victorian semi-detached house	C	1 of 2	Grafton
Edgecliff Road	170	Victorian semi-detached house	C	2 of 2	Grafton
Edgecliff Road	172	Victorian house	C		Grafton
Edgecliff Road	174	Victorian house	C		Grafton
Edgecliff Road	176	Federation terrace house	C	1 of 7	Grafton
Edgecliff Road	178	Federation terrace house	C	2 of 7	Grafton
Edgecliff Road	180	Federation terrace house	C	3 of 7	Grafton
Edgecliff Road	182	Federation terrace house	C	4 of 7	Grafton
Edgecliff Road	184	Federation terrace house	C	5 of 7	Grafton
Edgecliff Road	186	Federation terrace house	C	6 of 7	Grafton
Edgecliff Road	188	Federation terrace house	C	7 of 7	Grafton
Edgecliff Road	194	Victorian terrace house	C	1 of 4	Grafton
Edgecliff Road	196	Victorian terrace house	C	2 of 4	Grafton
Edgecliff Road	198	Victorian terrace house	C	3 of 4	Grafton
Edgecliff Road	200	Victorian terrace house	C	4 of 4	Grafton
Edgecliff Road	202	Victorian house	C		Grafton
Edgecliff Road	204	Victorian house	C		Grafton
Edgecliff Road	222	Victorian semi-detached house	C	1 of 2	Grafton
Edgecliff Road	224	Victorian semi-detached house	C	2 of 2	Grafton
Edgecliff Road	226	Victorian semi-detached house	C	1 of 2	Grafton
Edgecliff Road	228	Victorian semi-detached house	C	2 of 2	Grafton

Street	Street Number	Description	H or C	Group Element	Precinct
Edgecliff Road	230	Federation semi-detached house	C	1 of 2	Grafton
Edgecliff Road	232	Federation semi-detached house	C	2 of 2	Grafton
Edgecliff Road	234	Federation semi-detached house	C	1 of 2	Grafton
Edgecliff Road	236	Federation semi-detached house	C	2 of 2	Grafton
Edgecliff Road	238	Federation semi-detached house	C	1 of 2	Grafton
Edgecliff Road	240	Federation semi-detached house	C	2 of 2	Grafton
Edgecliff Road	242	Federation semi-detached house	C	1 of 2	Grafton
Edgecliff Road	244	Federation semi-detached house	C	2 of 2	Grafton
Edgecliff Road	246	Federation house	C		Grafton
Edgecliff Road	248	Federation terrace house	C	1 of 4	Grafton
Edgecliff Road	250	Federation terrace house	C	2 of 4	Grafton
Edgecliff Road	252	Federation terrace house	C	3 of 4	Grafton
Edgecliff Road	254	Federation terrace house	C	4 of 4	Grafton
Edgecliff Road	256	Federation terrace house	C	1 of 5	Grafton
Edgecliff Road	258	Federation terrace house	C	2 of 5	Grafton
Edgecliff Road	260	Federation terrace house	C	3 of 5	Grafton
Edgecliff Road	262	Federation terrace house	C	4 of 5	Grafton
Edgecliff Road	264	Federation terrace house	C	5 of 5	Grafton
Edgecliff Road	270	Victorian terrace house	C	1 of 8	Grafton
Edgecliff Road	272	Victorian terrace house	C	2 of 8	Grafton
Edgecliff Road	274	Victorian terrace house	C	3 of 8	Grafton
Edgecliff Road	276	Victorian terrace house	C	4 of 8	Grafton
Edgecliff Road	278	Victorian terrace house	C	5 of 8	Grafton
Edgecliff Road	280	Victorian terrace house	C	6 of 8	Grafton
Edgecliff Road	282	Victorian terrace house	C	7 of 8	Grafton
Edgecliff Road	284	Victorian terrace house	C	8 of 8	Grafton
Edgecliff Road	292	Federation house	C		Grafton
Edgecliff Road	296	Victorian semi-detached house	C	1 of 2	Grafton
Edgecliff Road	298	Victorian semi-detached house	C	2 of 2	Grafton
Edgecliff Road	300	Victorian house	C		Grafton
Edgecliff Road	302	Federation house	C		Grafton
Edgecliff Road	304	Federation house	C		Grafton
Edgecliff Road	308	Victorian house	C		Grafton
Edgecliff Road	314	Federation house	C	1 of 2	Nelson
Edgecliff Road	316	Federation house	C	2 of 2	Nelson
Edgecliff Road	318	Inter-war flat building	C		Nelson
Edgecliff Road	320	Inter-war flat building	C		Nelson
Edgecliff Road	322	Victorian house	C		Nelson
Edgecliff Road	324	Inter-war flat building	C		Nelson
Edgecliff Road	326	Inter-war flat building	C		Nelson
Edgecliff Road	328	Inter-war flat building	C		Nelson
Edgecliff Road	330	Inter-war flat building	C		Nelson
Edgecliff Road	332	Inter-war house	C		Nelson
Edgecliff Road	334	Gaden reserve and community centre	C		Nelson
Edgecliff Road	340	Inter-war flat building	C		Nelson
Edgecliff Road	342	Inter-war flat building	C		Nelson
Edgecliff Road	344	Inter-war flat building	C		Nelson
Edgecliff Road	354	Federation residential flat building	C		Rosemont
Edgecliff Road	356	Interwar house	C		Rosemont
Edgecliff Road	364	Federation house	C		Rosemont

Street	Street Number	Description	H or C	Group Element	Precinct
Edgecliff Road	380	Inter-war house	C		Rosemont
Edgecliff Road	382	Late twentieth century house	C		Rosemont
Edgecliff Road See No. 1 Trelawney Street	388	Federation semi-detached house	H	1 of 2	Rosemont
Edgecliff Road	390	Federation semi-detached house	C	1 of 2	Rosemont
Edgecliff Road	392	Federation semi-detached house	C	2 of 2	Rosemont
Edgecliff Road	394	Federation semi-detached house	C	1 of 2	Rosemont
Edgecliff Road	396	Federation semi-detached house	C	2 of 2	Rosemont
Edgecliff Road	398	Federation house	C		Rosemont
Edgecliff Road	400	Inter-war house	C		Rosemont
Edgecliff Road	402	Inter-war house	C		Rosemont
Edgecliff Road	404	Inter-war house	C		Rosemont
Edgecliff Road	406	Inter-war house	C		Rosemont
Edgecliff Road	408	Garden to 17 Rosemont Avenue			Rosemont
Edgecliff Road	410	Rosemont – Inter-war flat building, garages, entrance from Edgecliff Rd comprising flower beds and steps	H		Rosemont
Edgecliff Road	412	Hillside – Inter-war flat building, stone retaining wall, main entrance comprising flower beds and steps	H		Rosemont
Edgecliff Road	414	Edgecliff Gardens Inter-war flat building	H		Rosemont
Edgecliff Road	416-418	Inter-war house	C		Rosemont
Edgecliff Road	420	Inter-war flat building	C		Rosemont
Edgecliff Road	422	Inter-war flat building	C		Rosemont
Edgecliff Road	428	Inter-war house	C		Rosemont
Edgecliff Road	430	Inter-war house	C		Rosemont
Edgecliff Road	432	Inter-war house	C		Rosemont
<b>Edward Street</b>	<i>Odd</i>				
Edward Street	1	Federation house	C		Harbour View
Edward Street	3	Federation house	C		Harbour View
Edward Street	5	Federation house	C		Harbour View
Edward Street	7	Federation semi-detached house	C	1 of 2	Harbour View
Edward Street	9	Federation semi-detached house	C	2 of 2	Harbour View
Edward Street	11	Federation semi-detached house	C	1 of 2	Harbour View
Edward Street	13	Federation semi-detached house	C	2 of 2	Harbour View
Edward Street	15	Federation semi-detached house	C	1 of 2	Harbour View
Edward Street	17	Federation semi-detached house	C	2 of 2	Harbour View
Edward Street	19	Federation semi-detached house	C	1 of 2	Harbour View
Edward Street	21	Federation semi-detached house	C	2 of 2	Harbour View
Edward Street	23	Federation house	C		Harbour View
Edward Street	25	Federation house	C		Fletcher
Edward Street	27	Federation house	C		Fletcher
Edward Street	31	Inter-war house	C		Fletcher
Edward Street	37-43	Rockshelf and sandstone walls	C		Fletcher
<b>Edward Street</b>	<i>Even</i>				
Edward Street	2	Federation house	C		Harbour View
Edward Street	4	Federation house	C		Harbour View
Edward Street	6	Federation house	C		Harbour View

Street	Street Number	Description	H or C	Group Element	Precinct
Edward Street	8	Federation house	C		Harbour View
Edward Street	10	Federation house	C		Harbour View
Edward Street	12	Federation house	C		Harbour View
Edward Street	14	Federation house	C		Harbour View
Edward Street	16	Federation house	C		Harbour View
Edward Street	18	Federation house	C		Harbour View
Edward Street	20	Federation house	C		Harbour View
Edward Street	22	Federation house	C		Harbour View
Edward Street	24	Federation house	C		Harbour View
Edward Street	26	Federation house	C		Harbour View
Edward Street	28	Federation house	C		Harbour View
Edward Street	30	Federation house	C		Harbour View
Edward Street	32	Federation house	C		Harbour View
Edward Street	34	Federation house	C		Harbour View
Edward Street	36	Federation house	C		Harbour View
Edward Street	38	Federation house	C		Harbour View
Edward Street	40	Federation house	C		Harbour View
Edward Street	42	Federation house	C		Harbour View
<b>Fern Place</b>	<b>All</b>				
Fern Place	1	Federation house	C		Grafton
Fern Place	2	Federation house	C		Grafton
Fern Place	3	Federation house	C		Grafton
Fern Place	5	Victorian terrace house	C	1 of 4	Grafton
Fern Place	6	Victorian terrace house	C	2 of 4	Grafton
Fern Place	7	Victorian terrace house	C	3 of 4	Grafton
Fern Place	8	Victorian terrace house	C	4 of 4	Grafton
Fern Place	9	Victorian house	C		Grafton
<b>Fletcher Street</b>	<b>Odd</b>				
Fletcher Street	1	Victorian house	C		Fletcher
Fletcher Street	5	Victorian house	C		Fletcher
Fletcher Street	29	Victorian house	C		Fletcher
Fletcher Street	31	Victorian semi-detached house	C	1 of 2	Fletcher
Fletcher Street	33	Victorian semi-detached house	C	2 of 2	Fletcher
Fletcher Street	35	Victorian semi-detached house	C	1 of 2	Fletcher
Fletcher Street	37	Victorian semi-detached house	C	2 of 2	Fletcher
Fletcher Street	39	Victorian semi-detached house	C	1 of 2	Fletcher
Fletcher Street	41	Victorian semi-detached house	C	2 of 2	Fletcher
Fletcher Street	43	Victorian semi-detached house	C	1 of 2	Fletcher
Fletcher Street	45	Victorian semi-detached house	C	2 of 2	Fletcher
Fletcher Street	47	Victorian semi-detached house	C	1 of 2	Fletcher
Fletcher Street	49	Victorian semi-detached house	C	2 of 2	Fletcher
Fletcher Street	51	Victorian shop	C		Fletcher
Fletcher Street	<b>Even</b>				
Fletcher Street	16	Victorian house	C		Fletcher
Fletcher Street	18	Victorian house	C		Fletcher
Fletcher Street	20	Victorian house	C		Fletcher
Fletcher Street	22	Victorian house	C		Fletcher
Fletcher Street	30	Inter-war house	C		Fletcher

Street	Street Number	Description	H or C	Group Element	Precinct
Fletcher Street	40-44	Late twentieth century religious building	C		Fletcher
Fletcher Street	54	Victorian house	C	1 of 2	Fletcher
Fletcher Street	56	Victorian house	C	2 of 2	Fletcher
Fletcher Street	58	Victorian semi-detached house	C	1 of 2	Fletcher
Fletcher Street	60	Victorian semi-detached house	C	2 of 2	Fletcher
Fletcher Street	66	Victorian house	C		Fletcher
Fletcher Street	92	Victorian corner shop	C		Fletcher
Fletcher Street	94	Victorian house	C		Fletcher
Fletcher Street	96	Victorian house	C		Fletcher
Fletcher Street	100	Federation terrace house	C	1 of 4	Fletcher
Fletcher Street	102	Federation terrace house	C	2 of 4	Fletcher
Fletcher Street	104	Federation terrace house	C	3 of 4	Fletcher
Fletcher Street	106	Federation terrace house	C	4 of 4	Fletcher
Fletcher Street	112	Victorian terrace house	C	1 of 5	Fletcher
Fletcher Street	114	Victorian terrace house	C	2 of 5	Fletcher
Fletcher Street	116	Victorian terrace house	C	3 of 5	Fletcher
Fletcher Street	118	Victorian terrace house	C	4 of 5	Fletcher
Fletcher Street	120	Victorian terrace house	C	5 of 5	Fletcher
Fletcher Street	122	Victorian house	C		Fletcher
Fletcher Street	124	Victorian house	C		Fletcher
Fletcher Street	132	Victorian house	C		Fletcher
Fletcher Street	134	Victorian semi-detached house	C	1 of 2	Fletcher
Fletcher Street	136	Victorian semi-detached house	C	2 of 2	Fletcher
Fletcher Street	140-142	Inter-war house	C		Fletcher
Fletcher Street	144	Victorian house	C		Fletcher
Fletcher Street	148	Federation semi-detached house	C	1 of 2	Fletcher
Fletcher Street	150	Federation semi-detached house	C	2 of 2	Fletcher
Fletcher Street	152	Victorian house	C		Fletcher
Fletcher Street	154	Victorian house	C		Fletcher
Fletcher Street	156	Federation semi-detached house	C	1 of 2	Fletcher
Fletcher Street	158	Federation semi-detached house	C	2 of 2	Fletcher
Fletcher Street	160	Federation semi-detached house	C	1 of 2	Fletcher
Fletcher Street	162	Federation semi-detached house	C	2 of 2	Fletcher
<b>Forth Street</b>	<b>Odd</b>				
Forth Street	1	Victorian house	C		W Woollahra
Forth Street	1a	Victorian house	C		W Woollahra
Forth Street	3	Victorian house	C		W Woollahra
Forth Street	5a	Victorian house	C		W Woollahra
Forth Street	15	Victorian house	C		W Woollahra
Forth Street	17	Victorian house	C		W Woollahra
Forth Street	21	Victorian house	C		W Woollahra
Forth Street	23	Victorian house	C		W Woollahra
Forth Street	27	Victorian house	C		W Woollahra
Forth Street	29	Victorian semi-detached house	C	1 of 2	W Woollahra
Forth Street	31	Victorian semi-detached house	C	2 of 2	W Woollahra
Forth Street	33	Victorian house	C		W Woollahra
Forth Street	35	Victorian house	C		W Woollahra
Forth Street	37	Victorian house	C		W Woollahra
Forth Street	41	Federation house	C		W Woollahra

Street	Street Number	Description	H or C	Group Element	Precinct
Forth Street	<i>Even</i>				
Forth Street	2	Federation fire station	H		Rosemont
Forth Street		Woollahra Public School buildings comprising 1877 Hall and 1899 classrooms	H		Rosemont
<b>Fullerton Street</b>	<i>Odd</i>				
Fullerton Street	5	Inter-war house	C		Rosemont
Fullerton Street	11a	Wolper hospital, former Federation house	C		Rosemont
Fullerton Street	13-17	Element - Retaining Wall or Fence – Remnant of fence from 'Quirring', now demolished	C		Rosemont
Fullerton Street	<i>Even</i>				
Fullerton Street	2	Inter-war flat building	C		Rosemont
Fullerton Street	4	Inter-war flat building	C		Rosemont
Fullerton Street	6	Inter-war flat building	C		Rosemont
Fullerton Street	16	Inter-war house	C		Rosemont
Fullerton Street	18	Federation house	C		Rosemont
<b>Grosvenor Street</b>	<i>Odd</i>				
Grosvenor Street	27	Victorian house	C		Grafton
Grosvenor Street	29	Victorian house	C		Grafton
Grosvenor Street	31	Victorian house	C		Grafton
Grosvenor Street	33	Victorian house	C		Grafton
Grosvenor Street	35	Victorian house	C		Grafton
Grosvenor Street	37	Victorian house	C		Grafton
Grosvenor Street	39	Victorian house	C		Grafton
Grosvenor Street	41	Victorian house	C		Grafton
Grosvenor Street	43	Victorian house	C		Grafton
Grosvenor Street	45	Victorian house	C		Grafton
Grosvenor Street	47	Victorian house	C		Grafton
Grosvenor Street	49	Victorian house	C		Grafton
Grosvenor Street	51	Victorian house	C		Grafton
Grosvenor Street	53	Victorian semi-detached house	C	1 of 2	Grafton
Grosvenor Street	55	Victorian semi-detached house	C	2 of 2	Grafton
Grosvenor Street	<i>Even</i>				
Grosvenor Street	40	Victorian house	C		Grafton
Grosvenor Street	42	Victorian house	C		Grafton
Grosvenor Street	44	Victorian house	C		Grafton
Grosvenor Street	46	Victorian house	C		Grafton
Grosvenor Street	48	Victorian terrace house	C	1 of 4	Grafton
Grosvenor Street	50	Victorian terrace house	C	2 of 4	Grafton
Grosvenor Street	52	Victorian terrace house	C	3 of 4	Grafton
Grosvenor Street	54	Victorian terrace house	C	4 of 4	Grafton
Grosvenor Street	56	Victorian house	C		Grafton
Grosvenor Street	58	Victorian house	C		Grafton
Grosvenor Street	62	Victorian house	C		Grafton

Street	Street Number	Description	H or C	Group Element	Precinct
Grosvenor Street	64	Victorian house	C		Grafton
<b>Harkness Street</b>	<i>Odd</i>				
Harkness Street	1	Federation terrace house	C	1 of 6	Harbour View
Harkness Street	3	Federation terrace house	C	2 of 6	Harbour View
Harkness Street	5	Federation terrace house	C	3 of 6	Harbour View
Harkness Street	7	Federation terrace house	C	4 of 6	Harbour View
Harkness Street	9	Federation terrace house	C	5 of 6	Harbour View
Harkness Street	11	Federation terrace house	C	6 of 6	Harbour View
Harkness Street	13	Inter-war house	C		Harbour View
Harkness Street	15	Federation House	C		Harbour View
<b>Harkness Street</b>	<i>Even</i>				
Harkness Street	2	Federation house	C		Harbour View
Harkness Street	4	Federation house	C		Harbour View
Harkness Street	6	Federation house	C		Harbour View
Harkness Street	8	Federation house	C		Harbour View
Harkness Street	10	Federation house	C		Harbour View
Harkness Street	12	Federation house	C		Harbour View
<b>Holdsworth Street</b>	<i>Odd</i>				
Holdsworth Street	27	Victorian terrace house	C	1 of 3	W Woollahra
Holdsworth Street	29	Victorian terrace house	C	2 of 3	W Woollahra
Holdsworth Street	31	Victorian terrace house	C	3 of 3	W Woollahra
Holdsworth Street	35	Victorian semi-detached house	C	1 of 2	W Woollahra
Holdsworth Street	37	Victorian semi-detached house	C	2 of 2	W Woollahra
Holdsworth Street	39	Victorian house	C		W Woollahra
Holdsworth Street	41	Victorian semi-detached house	C	1 of 2	W Woollahra
Holdsworth Street	43	Victorian semi-detached house	C	2 of 2	W Woollahra
Holdsworth Street	45	Victorian semi-detached house	C	1 of 2	W Woollahra
Holdsworth Street	47	Victorian semi-detached house	C	2 of 2	W Woollahra
Holdsworth Street	49	Victorian terrace house	C	1 of 3	W Woollahra
Holdsworth Street	51	Victorian terrace house	C	2 of 3	W Woollahra
Holdsworth Street	53	Victorian terrace house	C	3 of 3	W Woollahra
Holdsworth Street	57	Victorian terrace house	C	1 of 4	W Woollahra
Holdsworth Street	59	Victorian terrace house	C	2 of 4	W Woollahra
Holdsworth Street	61	Victorian terrace house	C	3 of 4	W Woollahra
Holdsworth Street	63	Victorian terrace house	C	4 of 4	W Woollahra
Holdsworth Street	65	Victorian house	C		W Woollahra
Holdsworth Street	67	Victorian semi-detached house	C	1 of 2	W Woollahra
Holdsworth Street	69	Victorian semi-detached house	C	2 of 2	W Woollahra
Holdsworth Street	71	Victorian semi-detached house	C	1 of 2	W Woollahra
Holdsworth Street	73	Victorian semi-detached house	C	2 of 2	W Woollahra
Holdsworth Street	75	Victorian semi-detached house	C	1 of 2	W Woollahra
Holdsworth Street	77	Victorian semi-detached house	C	2 of 2	W Woollahra
Holdsworth Street	79	Victorian house	C		W Woollahra
Holdsworth Street	81-83	Inter-war flat building	C		W Woollahra
Holdsworth Street	85	Inter-war flat building	C		W Woollahra
Holdsworth Street	89	Victorian house	C		W Woollahra
Holdsworth Street	91	Victorian house	C		W Woollahra
Holdsworth Street	93	Victorian semi-detached house	C	1 of 2	W Woollahra

Street	Street Number	Description	H or C	Group Element	Precinct
Holdsworth Street	95	Victorian semi-detached house	C	2 of 2	W Woollahra
Holdsworth Street	97	Victorian house	C		W Woollahra
Holdsworth Street	<i>Even</i>				
Holdsworth Street	4	Victorian house	C		W Woollahra
Holdsworth Street	6	Victorian house	C		W Woollahra
Holdsworth Street	8	Victorian house	C		W Woollahra
Holdsworth Street	10	Victorian semi-detached house	C	1 of 2	W Woollahra
Holdsworth Street	12	Victorian semi-detached house	C	2 of 2	W Woollahra
Holdsworth Street	16	Victorian house	C		W Woollahra
Holdsworth Street	20	Victorian semi-detached house	C	1 of 2	W Woollahra
Holdsworth Street	22	Victorian semi-detached house	C	2 of 2	W Woollahra
Holdsworth Street	24	Victorian house	C		W Woollahra
Holdsworth Street	28	Victorian house	C		W Woollahra
Holdsworth Street	32	Victorian terrace house	C	1 of 4	W Woollahra
Holdsworth Street	34	Victorian terrace house	C	2 of 4	W Woollahra
Holdsworth Street	36	Victorian terrace house	C	3 of 4	W Woollahra
Holdsworth Street	38	Victorian terrace house	C	4 of 4	W Woollahra
Holdsworth Street	40	Victorian corner shop	C		W Woollahra
Holdsworth Street	50-64	Element - garden or park	C		W Woollahra
Holdsworth Street	66	Victorian house	C		W Woollahra
Holdsworth Street	68	Victorian semi-detached house	C	1 of 2	W Woollahra
Holdsworth Street	70	Victorian semi-detached house	C	2 of 2	W Woollahra
Holdsworth Street	72	Victorian semi-detached house	C	1 of 2	W Woollahra
Holdsworth Street	74	Victorian semi-detached house	C	2 of 2	W Woollahra
Holdsworth Street	76	Victorian terrace house	C	1 of 4	W Woollahra
Holdsworth Street	80	Victorian terrace house	C	2 of 4	W Woollahra
Holdsworth Street	82	Victorian terrace house	C	3 of 4	W Woollahra
Holdsworth Street	84	Victorian terrace house	C	4 of 4	W Woollahra
<b>James Street</b>	<i>Odd</i>				
James Street	1	Victorian house	C		W Woollahra
James Street	3	Victorian terrace house	C	1 of 3	W Woollahra
James Street	5	Victorian terrace house	C	2 of 3	W Woollahra
James Street	7	Victorian terrace house	C	3 of 3	W Woollahra
James Street	9	Victorian house	C		W Woollahra
James Street	11	Victorian house	C		W Woollahra
James Street	13	Victorian semi-detached house	C	1 of 2	W Woollahra
James Street	15	Victorian semi-detached house	C	2 of 2	W Woollahra
James Street	17	Victorian semi-detached house	C	1 of 2	W Woollahra
James Street	19	Victorian semi-detached house	C	2 of 2	W Woollahra
James Street	<i>Even</i>				
James Street	2	Victorian semi-detached house	C	1 of 2	W Woollahra
James Street	4	Victorian semi-detached house	C	2 of 2	W Woollahra
James Street	6	Victorian house	C		W Woollahra
James Street	8	Victorian terrace house	C	1 of 3	W Woollahra
James Street	10	Victorian terrace house	C	2 of 3	W Woollahra
James Street	12	Victorian terrace house	C	3 of 3	W Woollahra
James Street	14	Victorian house	C		W Woollahra

Street	Street Number	Description	H or C	Group Element	Precinct
James Street	16	Victorian house	C		W Woollahra
James Street	18	Victorian house	C		W Woollahra
<b>Jersey Road</b>	<i>Odd</i>				
Jersey Road	3	Victorian shop	C		W Woollahra
Jersey Road	5	Victorian semi-detached house	C	1 of 2	W Woollahra
Jersey Road	7	Victorian semi-detached house	C	2 of 2	W Woollahra
Jersey Road	9	Victorian terrace house	C	1 of 4	W Woollahra
Jersey Road	11	Victorian terrace house	C	2 of 4	W Woollahra
Jersey Road	11a	Victorian terrace house	C	3 of 4	W Woollahra
Jersey Road	15	Victorian terrace house	C	4 of 4	W Woollahra
Jersey Road	17	Westbourne, Victorian house, outbuildings and front fencing	H		W Woollahra
Jersey Road	19	Victorian house	C		W Woollahra
Jersey Road	21	Victorian house	C		W Woollahra
Jersey Road	23	Runnymede, Victorian house, grounds, front garden and fencing, two Norfolk Island Pines, Bangalow Palm	H		W Woollahra
Jersey Road	25	Victorian terrace house	C	1 of 3	W Woollahra
Jersey Road	27	Victorian terrace house	C	2 of 3	W Woollahra
Jersey Road	29	Victorian terrace house	C	3 of 3	W Woollahra
Jersey Road	37	Victorian house	C		W Woollahra
Jersey Road	41	Victorian house	C		W Woollahra
Jersey Road	43	Victorian semi-detached house	C	1 of 2	W Woollahra
Jersey Road	45	Victorian semi-detached house	C	2 of 2	W Woollahra
Jersey Road	47	Victorian semi-detached house	C	1 of 2	W Woollahra
Jersey Road	49	Victorian semi-detached house	C	2 of 2	W Woollahra
Jersey Road	51	Victorian house	C		W Woollahra
Jersey Road	53	Victorian shop and semi-detached house	C	1 of 2	W Woollahra
Jersey Road	55	Victorian semi-detached house	C	2 of 2	W Woollahra
Jersey Road	57	Victorian semi-detached house	C	1 of 2	W Woollahra
Jersey Road	59	Victorian shop and semi-detached house	C	2 of 2	W Woollahra
Jersey Road	61	Victorian house	C		W Woollahra
Jersey Road	63	Federation building	C		W Woollahra
Jersey Road	65	Element - garden or park	C		W Woollahra
Jersey Road	67	Victorian house and Victorian shop	C		W Woollahra
Jersey Road	77	Victorian terrace house	C	1 of 5	W Woollahra
Jersey Road	79	Victorian terrace house	C	2 of 5	W Woollahra
Jersey Road	81	Victorian terrace house	C	3 of 5	W Woollahra
Jersey Road	83	Victorian terrace house	C	4 of 5	W Woollahra
Jersey Road	85	Victorian terrace house	C	5 of 5	W Woollahra
Jersey Road	87	Victorian terrace house	C	1 of 5	W Woollahra
Jersey Road	89	Victorian terrace house	C	2 of 5	W Woollahra
Jersey Road	91	Victorian terrace house	C	3 of 5	W Woollahra
Jersey Road	93	Victorian terrace house	C	4 of 5	W Woollahra
Jersey Road	95	Victorian terrace house	C	5 of 5	W Woollahra
Jersey Road	97	Victorian house	C		W Woollahra
Jersey Road	99	Victorian house	C		W Woollahra
Jersey Road	101	Victorian terrace house	C	1 of 4	W Woollahra
Jersey Road	103	Victorian terrace house	C	2 of 4	W Woollahra

Street	Street Number	Description	H or C	Group Element	Precinct
Jersey Road	105	Victorian terrace house	C	3 of 4	W Woollahra
Jersey Road	107	Victorian terrace house	C	4 of 4	W Woollahra
Jersey Road	109	Victorian house	C		W Woollahra
Jersey Road	109a	Former Victorian Uniting Church building, street fencing	H		W Woollahra
Jersey Road	113	Victorian semi-detached house	C	1 of 2	W Woollahra
Jersey Road	115	Victorian semi-detached house	C	2 of 2	W Woollahra
Jersey Road	117	Victorian shop	C		W Woollahra
Jersey Road	119	Victorian terrace house	C	1 of 9	W Woollahra
Jersey Road	121	Victorian terrace house	C	2 of 9	W Woollahra
Jersey Road	123	Victorian terrace house	C	3 of 9	W Woollahra
Jersey Road	125	Victorian terrace house	C	4 of 9	W Woollahra
Jersey Road	127	Victorian terrace house	C	5 of 9	W Woollahra
Jersey Road	129	Victorian terrace house	C	6 of 9	W Woollahra
Jersey Road	131	Victorian terrace house	C	7 of 9	W Woollahra
Jersey Road	133	Victorian terrace house	C	8 of 9	W Woollahra
Jersey Road	135	Victorian terrace house	C	9 of 9	W Woollahra
<b>John Street</b>	<i>Odd</i>				
John Street	5	Victorian semi-detached house	C	1 of 2	W Woollahra
John Street	7	Victorian semi-detached house	C	2 of 2	W Woollahra
John Street	9	Victorian house	C		W Woollahra
John Street	11	Victorian house	C		W Woollahra
John Street	13	Victorian terrace house	C	1 of 5	W Woollahra
John Street	15	Victorian terrace house	C	2 of 5	W Woollahra
John Street	17	Victorian terrace house	C	3 of 5	W Woollahra
John Street	19	Victorian terrace house	C	4 of 5	W Woollahra
John Street	21	Victorian terrace house	C	5 of 5	W Woollahra
John Street	23	Victorian terrace house	C	1 of 5	W Woollahra
John Street	25	Victorian terrace house	C	2 of 5	W Woollahra
John Street	27	Victorian terrace house	C	3 of 5	W Woollahra
John Street	29	Victorian terrace house	C	4 of 5	W Woollahra
John Street	31	Victorian terrace house	C	5 of 5	W Woollahra
John Street	33	Victorian terrace house	C	1 of 5	W Woollahra
John Street	35	Victorian terrace house	C	2 of 5	W Woollahra
John Street	37	Victorian terrace house	C	3 of 5	W Woollahra
John Street	39	Victorian terrace house	C	4 of 5	W Woollahra
John Street	41	Victorian terrace house	C	5 of 5	W Woollahra
John Street	43	Victorian terrace house	C		W Woollahra
John Street	49	Federation house	C		W Woollahra
John Street	51	Victorian house	C		W Woollahra
John Street	53	Victorian house	C		W Woollahra
John Street	55	Victorian terrace house	C	1 of 3	W Woollahra
John Street	57	Victorian terrace house	C	2 of 3	W Woollahra
John Street	59	Victorian terrace house	C	3 of 3	W Woollahra
John Street	65	Victorian terrace house	C	1 of 4	W Woollahra
John Street	67	Victorian terrace house	C	2 of 4	W Woollahra
John Street	69	Victorian terrace house	C	3 of 4	W Woollahra
John Street	71	Victorian terrace house	C	4 of 4	W Woollahra
John Street	77	Victorian house	C		W Woollahra
John Street	79	Victorian terrace house	C	1 of 2	W Woollahra
John Street	81	Victorian terrace house	C	2 of 2	W Woollahra

Street	Street Number	Description	H or C	Group Element	Precinct
John Street	83	Victorian terrace house	C	1 of 9	W Woollahra
John Street	85	Victorian terrace house	C	2 of 9	W Woollahra
John Street	87	Victorian terrace house	C	3 of 9	W Woollahra
John Street	89	Victorian terrace house	C	4 of 9	W Woollahra
John Street	91	Victorian terrace house	C	5 of 9	W Woollahra
John Street	93	Victorian terrace house	C	6 of 9	W Woollahra
John Street	95	Victorian terrace house		7 of 9	W Woollahra
John Street	97	Victorian terrace house		8 of 9	W Woollahra
John Street	99	Victorian terrace house	C	9 of 9	W Woollahra
John Street	<i>Even</i>				
John Street	4	Victorian terrace house	C	1 of 4	W Woollahra
John Street	6	Victorian terrace house	C	2 of 4	W Woollahra
John Street	10	Victorian terrace house	C	3 of 4	W Woollahra
John Street	12	Victorian terrace house	C	4 of 4	W Woollahra
John Street	14	Victorian semi-detached house	C	1 of 2	W Woollahra
John Street	16	Victorian semi-detached house	C	2 of 2	W Woollahra
John Street	18	Victorian house	C		W Woollahra
John Street	20	Victorian terrace house	C	1 of 3	W Woollahra
John Street	22	Victorian terrace house	C	2 of 3	W Woollahra
John Street	24	Victorian terrace house	C	3 of 3	W Woollahra
John Street	26	Victorian house	C		W Woollahra
John Street	28	Victorian house	C		W Woollahra
John Street	30	Victorian terrace	C	1 of 3	W Woollahra
John Street	32	Victorian terrace	C	2 of 3	W Woollahra
John Street	34	Victorian terrace	C	3 of 3	W Woollahra
John Street	36	Victorian house	C		W Woollahra
John Street	38	Victorian house	C		W Woollahra
John Street	40	Victorian house	C		W Woollahra
John Street	42	Victorian house	C		W Woollahra
John Street	46	Victorian house	C		W Woollahra
John Street	48	Victorian house	C		W Woollahra
John Street	58	Late twentieth century house	C		W Woollahra
John Street	62	Victorian house	C		W Woollahra
John Street	66	Victorian semi-detached house	C	1 of 2	W Woollahra
John Street	68	Victorian semi-detached house	C	2 of 2	W Woollahra
John Street	70	Victorian house	C		W Woollahra
John Street	72	Victorian semi-detached house	C	1 of 2	W Woollahra
John Street	74	Victorian semi-detached house	C	2 of 2	W Woollahra
John Street	78	Victorian house	C		W Woollahra
John Street	80	Victorian house	C		W Woollahra
John Street	82	Victorian house	C		W Woollahra
John Street	86	Victorian house	C		W Woollahra
John Street	90	Victorian house	C		W Woollahra
Junction Street	<i>Odd</i>				
Junction Street	3	Victorian terrace house	C	1 of 3	Grafton
Junction Street	5	Victorian terrace house	C	2 of 3	Grafton
Junction Street	7	Victorian terrace house	C	3 of 3	Grafton
Junction Street	9	Victorian house	C		Grafton
Junction Street	11	Victorian house	C		Grafton

Street	Street Number	Description	H or C	Group Element	Precinct
Junction Street	13	Victorian house	C		Grafton
Junction Street	15	Victorian house	C		Grafton
Junction Street	17	Victorian house	C		Grafton
Junction Street	19	Victorian house	C		Grafton
Junction Street	21	Victorian terrace house	C	1 of 3	Grafton
Junction Street	23	Victorian terrace house	C	2 of 3	Grafton
Junction Street	25	Victorian terrace house	C	3 of 3	Grafton
Junction Street	27	Victorian house	C		Grafton
Junction Street	<i>Even</i>				
Junction Street	6	Victorian terrace house		1 of 3	Grafton
Junction Street	8	Victorian terrace house		2 of 3	Grafton
Junction Street	10	Victorian terrace house		3 of 3	Grafton
Junction Street	12	Victorian house	C		Grafton
Junction Street	14	Victorian house	C		Grafton
Junction Street	16	Victorian house	C		Grafton
Junction Street	18	Victorian house	C		Grafton
Junction Street	20	Victorian house	C		Grafton
Junction Street	22	Victorian house	C		Grafton
Junction Street	24	Victorian house	C		Grafton
Junction Street	26	Victorian house	C		Grafton
Junction Street	28	Inter-war flat building	C		Grafton
<b>Kendall Street</b>	<i>Even</i>				
Kendall Street	4	Victorian house	C		Fletcher
Kendall Street	6	Federation house	C		Fletcher
Kendall Street	8	Inter-war house	C		Fletcher
Kendall Street	10	Victorian house	C		Fletcher
Kendall Street	12	Victorian house	C		Fletcher
Kendall Street	14	Victorian house	C		Fletcher
Kendall Street	16	Victorian house	C		Fletcher
Kendall Street	18	Inter-war flat building	C		Fletcher
<b>Kilminster Lane</b>	<i>Odd</i>				
Kilminster Lane	5	Late twentieth century house	C		W Woollahra
Kilminster Lane		Elms reserve	C		W Woollahra
<b>Magney Street</b>	<i>Odd</i>				
Magney Street	1	Federation house	C		Harbour View
Magney Street	3	Federation house	C		Harbour View
Magney Street	5	Federation house	C		Harbour View
Magney Street	7	Federation house	C		Harbour View
Magney Street	9	Federation house	C		Harbour View
Magney Street	11	Federation house	C		Harbour View
Magney Street	<i>Even</i>				
Magney Street	2	Federation house	C		Harbour View
Magney Street	4	Federation house	C		Harbour View
Magney Street	6	Federation house	C		Harbour View
Magney Street	8	Federation house	C		Harbour View
<b>Moncur Street</b>	<i>Odd</i>				
Moncur Street	1	Victorian hotel	C		W Woollahra

Street	Street Number	Description	H or C	Group Element	Precinct
Moncur Street	3	Victorian terrace house	C	1 of 12	W Woollahra
Moncur Street	5	Victorian terrace house	C	2 of 12	W Woollahra
Moncur Street	7	Victorian terrace house	C	3 of 12	W Woollahra
Moncur Street	9	Victorian terrace house	C	4 of 12	W Woollahra
Moncur Street	11	Victorian terrace house	C	5 of 12	W Woollahra
Moncur Street	13	Victorian terrace house	C	6 of 12	W Woollahra
Moncur Street	15	Victorian terrace house	C	7 of 12	W Woollahra
Moncur Street	17	Victorian terrace house	C	8 of 12	W Woollahra
Moncur Street	19	Victorian terrace house	C	9 of 12	W Woollahra
Moncur Street	21	Victorian terrace house	C	10 of 12	W Woollahra
Moncur Street	23	Victorian terrace house	C	11 of 12	W Woollahra
Moncur Street	25	Victorian terrace house	C	12 of 12	W Woollahra
Moncur Street	27	Victorian corner shop	C	1 of 4	W Woollahra
Moncur Street	29	Victorian terrace house	C	2 of 4	W Woollahra
Moncur Street	31	Victorian terrace house	C	3 of 4	W Woollahra
Moncur Street	33	Victorian terrace house	C	4 of 4	W Woollahra
Moncur Street	35	Victorian house	C		W Woollahra
Moncur Street	37	Victorian semi-detached house	C	1 of 2	W Woollahra
Moncur Street	39	Victorian semi-detached house	C	2 of 2	W Woollahra
Moncur Street	41	Victorian semi-detached house	C	1 of 2	W Woollahra
Moncur Street	43	Victorian semi-detached house	C	2 of 2	W Woollahra
Moncur Street	45	Victorian terrace house	C	1 of 4	W Woollahra
Moncur Street	47	Victorian terrace house	C	2 of 4	W Woollahra
Moncur Street	49	Victorian terrace house	C	3 of 4	W Woollahra
Moncur Street	51	Victorian terrace house	C	4 of 4	W Woollahra
Moncur Street	53	Victorian house	C		Queen St
Moncur Street	61	Victorian terrace house	C	1 of 5	W Woollahra
Moncur Street	63	Victorian terrace house	C	2 of 5	W Woollahra
Moncur Street	65	Victorian terrace house	C	3 of 5	W Woollahra
Moncur Street	67	Victorian terrace house	C	4 of 5	W Woollahra
Moncur Street	69	Victorian terrace house	C	5 of 5	W Woollahra
Moncur Street	71	Victorian semi-detached house	C	1 of 2	W Woollahra
Moncur Street	73	Victorian semi-detached house	C	2 of 2	W Woollahra
Moncur Street	75	Victorian house	C		W Woollahra
Moncur Street	81-83	Inter-war flat building	C		W Woollahra
Moncur Street	85	Victorian house	C		W Woollahra
Moncur Street	87	Victorian house	C		W Woollahra
Moncur Street	89	Victorian house	C		W Woollahra
Moncur Street		Holdsworth reserve	C		W Woollahra
Moncur Street	101	Victorian house	C		W Woollahra
Moncur Street	103	Victorian house	C		W Woollahra
<b>Moncur Street</b>	<i>Even</i>				
Moncur Street	2	Victorian corner shop	C		W Woollahra
Moncur Street	4	Victorian semi-detached house	C	1 of 2	W Woollahra
Moncur Street	6	Victorian semi-detached house	C	2 of 2	W Woollahra
Moncur Street	8	Victorian house	C		W Woollahra
Moncur Street	10	Victorian semi-detached house	C	1 of 2	W Woollahra
Moncur Street	12	Victorian semi-detached house	C	2 of 2	W Woollahra
Moncur Street	16	Victorian house	C		W Woollahra
Moncur Street	18	Victorian terrace house	C	1 of 4	W Woollahra

Street	Street Number	Description	H or C	Group Element	Precinct
Moncur Street	20	Victorian terrace house	C	2 of 4	W Woollahra
Moncur Street	22	Victorian terrace house	C	3 of 4	W Woollahra
Moncur Street	24	Victorian terrace house	C	4 of 4	W Woollahra
Moncur Street	26-28	Victorian corner shop building	H		W Woollahra
Moncur Street	48	Victorian house	C		W Woollahra
Moncur Street	50	Victorian terrace house	C	1 of 3	W Woollahra
Moncur Street	52	Victorian terrace house	C	2 of 3	W Woollahra
Moncur Street	54	Victorian terrace house	C	3 of 3	W Woollahra
Moncur Street	56	Victorian house	C		W Woollahra
Moncur Street	66	Victorian house	C		W Woollahra
Moncur Street	70	Victorian terrace house	C	1 of 3	W Woollahra
Moncur Street	72	Victorian terrace house	C	2 of 3	W Woollahra
Moncur Street	74	Victorian terrace house	C	3 of 3	W Woollahra
Moncur Street	76	Victorian house	C		W Woollahra
Moncur Street	80	Victorian terrace house	C	1 of 4	W Woollahra
Moncur Street	82	Victorian terrace house	C	2 of 4	W Woollahra
Moncur Street	84	Victorian terrace house	C	3 of 4	W Woollahra
Moncur Street	86	Victorian terrace house	C	4 of 4	W Woollahra
Moncur Street	88	Victorian semi-detached house	C	1 of 2	W Woollahra
Moncur Street	90	Victorian semi-detached house	C	2 of 2	W Woollahra
<b>Morrell Street</b>	<i>Odd</i>				
Morrell Street		Hodsworth reserve	C		W Woollahra
Morrell Street	11	Victorian house	C		W Woollahra
Morrell Street	13	Victorian house	C		W Woollahra
Morrell Street	15	Victorian house	C		W Woollahra
<b>Nelson Street</b>	<i>Odd</i>				
Nelson Street	19	Federation house	C		Nelson
Nelson Street	21	Federation house	C		Nelson
Nelson Street	21a	Building	H		Nelson
Nelson Street	23	Montefiores Private Hospital - 19 <sup>th</sup> century building, front garden, retaining walls, gate posts excluding later extension.	H		Nelson
Nelson Street	25	Apheta – Victorian building including original internal fabric, gateposts and gates to Nelson Street, set of steps to the north-east of the building, 2 Kaffir Plum trees and Lillypilly tree on the Nelson Street frontage.	H		Nelson
Nelson Street	27	Larissa – Victorian building including original internal fabric.	H		Nelson
Nelson Street	29	Inter-war flat building	C	1 of 4	Nelson
Nelson Street	29a	Inter-war flat building	C	2 of 4	Nelson
Nelson Street	29b	Inter-war flat building	C	3 of 4	Nelson
Nelson Street	29c	Inter-war flat building	C	4 of 4	Nelson
Nelson Street	33	Inter-war flat building	C		Nelson
Nelson Street	35	Inter-war flat building	C		Nelson
Nelson Street	37	Inter-war flat building	C		Nelson
Nelson Street	39	Inter-war flat building	C		Nelson
Nelson Street	<i>Even</i>				

Street	Street Number	Description	H or C	Group Element	Precinct
Nelson Street	6	Victorian house	C		Nelson
Nelson Street	12	Victorian house	C		Nelson
Nelson Street	14	Victorian house	C		Nelson
Nelson Street	16	Victorian house	C		Nelson
Nelson Street	18	Victorian house	C		Nelson
Nelson Street	22	Victorian terrace house, front fencing	H		Nelson
Nelson Street	24	Victorian terrace house, front fencing	H	1 of 7	Nelson
Nelson Street	26	Victorian terrace house, front fencing	H	2 of 7	Nelson
Nelson Street	28	Victorian terrace house, front fencing	H	3 of 7	Nelson
Nelson Street	30	Victorian terrace house, front fencing	H	4 of 7	Nelson
Nelson Street	32	Victorian terrace house, front fencing	H	5 of 7	Nelson
Nelson Street	34	Victorian terrace house, front fencing	H	6 of 7	Nelson
Nelson Street	36	Victorian terrace house, front fencing	H	7 of 7	Nelson
<b>Ocean Street</b>	<i>Odd</i>				
Ocean Street	1	Inter-war flat building	C		Nelson
Ocean Street	3	Inter-war flat building	C		Nelson
Ocean Street	5	Inter-war flat building	C		Nelson
Ocean Street	7-9	Morten Bay Fig Temple Emmanuel Inter-war religious building	H C		Nelson
Ocean Street	11	Victorian house	C		W Woollahra
Ocean Street	17	Victorian house	C		W Woollahra
Ocean Street	19	Victorian house	C		W Woollahra
Ocean Street	21	Victorian house	C		W Woollahra
Ocean Street	23	Victorian house	C		W Woollahra
Ocean Street	25	Victorian house	C		W Woollahra
Ocean Street	27	Victorian semi-detached house	H	1 of 2	W Woollahra
Ocean Street	29	Victorian semi-detached house, front fencing	H	2 of 2	W Woollahra
Ocean Street	31	Victorian commercial building	H	1 of 2	W Woollahra
Ocean Street	33	Victorian commercial building	H	2 of 2	W Woollahra
Ocean Street	35	Victorian house	C		W Woollahra
Ocean Street	37	Victorian shop	C	1 of 2	W Woollahra
Ocean Street	39	Victorian shop	C	2 of 2	W Woollahra
Ocean Street	41	Victorian shop	C		W Woollahra
Ocean Street	43	Victorian house	C		W Woollahra
Ocean Street	45	Victorian house	C		W Woollahra
Ocean Street	49	Victorian house	C		W Woollahra
Ocean Street	51	Victorian house	C		W Woollahra
Ocean Street	53	Victorian corner shop	C		W Woollahra
Ocean Street	53a	St. Columba Victorian Uniting Church	H		Rosemont
Ocean Street	55	Victorian terrace house	H	1 of 3	Rosemont
Ocean Street	57	Victorian terrace house, front fencing	H	2 of 3	Rosemont
Ocean Street	59	Victorian terrace house	H	3 of 3	Rosemont
Ocean Street	61	Victorian house, front gardens and fencing	H		Rosemont
Ocean Street	63	Chiswick Park - Inter-war park associated with 65 Ocean Street.	C		Rosemont
Ocean Street	65	Inter-war commercial building, Pruniers	C		Rosemont

Street	Street Number	Description	H or C	Group Element	Precinct
Ocean Street	69-71	Inter-war flat building	C		Rosemont
Ocean Street	69-71	(Front fence associated with Victorian house, now demolished).	C		Rosemont
Ocean Street	73	Victorian house	H		Rosemont
Ocean Street	75	Icilus – Victorian house, front garden and fencing	H		Rosemont
Ocean Street	77	Wallangra - Victorian house	H		Rosemont
Ocean Street	81	Victorian house, front garden, retaining wall and fencing	H		Rosemont
Ocean Street	85	All Saints Anglican Church - church, grounds, front garden, retaining wall and fencing	H		Rosemont
Ocean Street	85a	Inter-war flat building	C	1 of 4	Rosemont
Ocean Street	85b	Inter-war flat building	C	2 of 4	Rosemont
Ocean Street	85c	Inter-war flat building	C	3 of 4	Rosemont
Ocean Street	87	Inter-war flat building	C	4 of 4	Rosemont
Ocean Street	97	Victorian semi-detached house	C	1 of 2	Rosemont
Ocean Street	99	Victorian semi-detached house	C	2 of 2	Rosemont
Ocean Street	101	Victorian semi-detached house	C	1 of 2	Rosemont
Ocean Street	103	Victorian semi-detached house	C	2 of 2	Rosemont
Ocean Street	105	Victorian semi-detached house	C	1 of 2	Rosemont
Ocean Street	107	Victorian semi-detached house	C	2 of 2	Rosemont
Ocean Street	109	Victorian semi-detached house	C	1 of 2	Rosemont
Ocean Street	111	Victorian semi-detached house	C	2 of 2	Rosemont
Ocean Street	113	Inter-war house	C		W Woollahra
Ocean Street	2	Federation terrace house	C	1 of 3	W Woollahra
Ocean Street	4	Federation terrace house	C	2 of 3	W Woollahra
Ocean Street	6	Federation terrace house	C	3 of 3	W Woollahra
Ocean Street	8-10	Victorian terraces	C		W Woollahra
Ocean Street	14	Victorian semi-detached house	C	1 of 2	W Woollahra
Ocean Street	16	Victorian semi-detached house	C	2 of 2	W Woollahra
Ocean Street, corner of Queen Street		Norfolk Island Pine	H		Queen St
Ocean Street	42	Victorian shop	C	1 of 3	Rosemont
Ocean Street	44	Victorian shop	C	2 of 3	Rosemont
Ocean Street	46	Victorian shop	C	3 of 3	Rosemont
Ocean Street	48	Victorian semi-detached house	C	1 of 2	Rosemont
Ocean Street	50	Victorian semi-detached house	C	2 of 2	Rosemont
Ocean Street	52	Victorian semi-detached house	C	1 of 2	Rosemont
Ocean Street	54	Victorian semi-detached house	C	2 of 2	Rosemont
Ocean Street	56	Federation house	C		Rosemont
Ocean Street	66	Federation house	C		Rosemont
Ocean Street	68-70	Victorian house	C		Rosemont
Ocean Street	72	Federation semi-detached house	C	1 of 2	Rosemont
Ocean Street	74	Federation semi-detached house	C	2 of 2	Rosemont
Ocean Street	76	Victorian semi-detached house, front fencing	H	1 of 2	Rosemont
Ocean Street	78	Victorian semi-detached house, front fencing	H	2 of 2	Rosemont
Ocean Street	80	Victorian semi-detached house	H	1 of 2	Rosemont

Street	Street Number	Description	H or C	Group Element	Precinct
Ocean Street	82	Victorian semi-detached house	H	2 of 2	Rosemont
Ocean Street	84	Victorian house	C		Rosemont
Ocean Street See also 14a Trelawney St	86	Victorian house	C		Rosemont
Ocean Street	90	Victorian building	C		Rosemont
Ocean Street	90a	Victorian Garden associated with 90 Ocean Street.	C		Rosemont
<b>Old South Head Road</b>	<i>Even</i>				
Old South Head Rd	76	Victorian/Federation house	C		Grafton
Old South Head Rd	78	Inter-war flat building	C		Grafton
Old South Head Rd	80	Victorian house	C		Grafton
Old South Head Rd	82	Federation terrace house	C	1 of 4	Grafton
Old South Head Rd	82a	Federation terrace house	C	2 of 4	Grafton
Old South Head Rd	84	Federation terrace house	C	3 of 4	Grafton
Old South Head Rd	86	Federation terrace house	C	4 of 4	Grafton
Old South Head Rd	90	Victorian terrace house	C	1 of 6	Grafton
Old South Head Rd	92	Victorian terrace house	C	2 of 6	Grafton
Old South Head Rd	94	Victorian terrace house	C	3 of 6	Grafton
Old South Head Rd	96	Victorian terrace house	C	4 of 6	Grafton
Old South Head Rd	98	Victorian terrace house	C	5 of 6	Grafton
Old South Head Rd	100	Victorian terrace house	C	6 of 6	Grafton
Old South Head Rd	110-112	Federation house	C		Grafton
Old South Head Rd	114	Victorian house	C		Grafton
<b>Oxford Street</b>	<i>Even</i>				
Oxford Street	2	Inter-war Hotel	C		W Woollahra
Oxford Street	4	Victorian shop	C	1 of 2	W Woollahra
Oxford Street	6	Victorian shop	C	2 of 2	W Woollahra
Oxford Street	8	Victorian shop	C	1 of 2	W Woollahra
Oxford Street	10	Victorian shop	C	2 of 2	W Woollahra
Oxford Street	12-14	Federation commercial building	C		W Woollahra
Oxford Street	16	Inter-war commercial building	C		W Woollahra
Oxford Street	20	Victorian commercial building	C		W Woollahra
Oxford Street	22-36	Inter-war building	C		W Woollahra
Oxford Street	38	Victorian house	C		W Woollahra
Oxford Street	40	Victorian semi-detached house	C	1 of 2	W Woollahra
Oxford Street	42	Victorian semi-detached house	C	2 of 2	W Woollahra
Oxford Street	44	Victorian semi-detached house	C	1 of 2	W Woollahra
Oxford Street	46	Victorian semi-detached house	C	2 of 2	W Woollahra
Oxford Street	48	Inter-war garage building	C		W Woollahra
Oxford Street	50	Inter-war house	C		W Woollahra
Oxford Street	52	Victorian semi-detached house	C	1 of 2	W Woollahra
Oxford Street	54	Victorian semi-detached house	C	2 of 2	W Woollahra
Oxford Street	56	Victorian house	C		W Woollahra
Oxford Street	58	Victorian house	C		W Woollahra
Oxford Street	60	Inter-war building			W Woollahra
Oxford Street	68	Federation semi-detached house	C	1 of 2	W Woollahra
Oxford Street	70	Federation semi-detached house	C	2 of 2	W Woollahra
Oxford Street	72	Victorian semi-detached house	C	1 of 2	W Woollahra
Oxford Street	74	Victorian semi-detached house	C	2 of 2	W Woollahra

Street	Street Number	Description	Heritage Category	Group Element	Precinct
Oxford Street	76	Inter-war flat building	C		W Woollahra
Oxford Street	78	Victorian house	C		W Woollahra
Oxford Street	80	Victorian commercial building	C		W Woollahra
Oxford Street	82	Victorian terrace house	C	1 of 3	W Woollahra
Oxford Street	84	Victorian terrace house	C	2 of 3	W Woollahra
Oxford Street	86	Victorian terrace house	C	3 of 3	W Woollahra
Oxford Street	88-90	Victorian Hotel	C		W Woollahra
Oxford Street	92	Inter-war garage building	C		W Woollahra
Oxford Street	96	Victorian house	C		W Woollahra
Oxford Street	98	Victorian terrace house	C	1 of 2	W Woollahra
Oxford Street	100	Victorian terrace house	C	2 of 2	W Woollahra
Oxford Street	102	Victorian terrace house	C	1 of 3	W Woollahra
Oxford Street	104	Victorian terrace house	C	2 of 3	W Woollahra
Oxford Street	106	Victorian terrace house	C	3 of 3	W Woollahra
Oxford Street	108	Victorian house	C		W Woollahra
Oxford Street	110	Victorian house	C		W Woollahra
Oxford Street	112	Victorian house	C		W Woollahra
Oxford Street	114	Victorian semi-detached house	C	1 of 2	W Woollahra
Oxford Street	116	Victorian semi-detached house	C	2 of 2	W Woollahra
Oxford Street	118	Inter-war building	C		W Woollahra
Oxford Street	120-124	Inter-war garage building	C		W Woollahra
Oxford Street	126	Victorian building	C		W Woollahra
Oxford Street	128	Victorian building	C		W Woollahra
Oxford Street	130	Victorian semi-detached house	C	1 of 2	W Woollahra
Oxford Street	132	Victorian semi-detached house	C	2 of 2	W Woollahra
Oxford Street	134	Victorian semi-detached house	C	1 of 2	W Woollahra
Oxford Street	136	Victorian semi-detached house	C	2 of 2	W Woollahra
Oxford Street	138	Victorian corner shop	C	1 of 4	W Woollahra
Oxford Street	140	Victorian terrace house	C	2 of 4	W Woollahra
Oxford Street	142	Victorian terrace house	C	3 of 4	W Woollahra
Oxford Street	144	Victorian terrace house	C	4 of 4	W Woollahra
Oxford Street	146	Victorian house	C		W Woollahra
Oxford Street	148	Victorian semi-detached house	C	1 of 2	W Woollahra
Oxford Street	150	Victorian semi-detached house	C	2 of 2	W Woollahra
Oxford Street	168	Victorian house	C		W Woollahra
Oxford Street	170	Victorian house	C		W Woollahra
Oxford Street	172-178	Inter-war religious building	C		W Woollahra
<b>Peaker Lane</b>	<i>Even</i>				
Peaker Lane	6	Victorian semi-detached house	C	1 of 2	Queen St
Peaker Lane	8	Victorian semi-detached house	C	2 of 2	Queen St
<b>Pickering Lane</b>	<i>Odd</i>				
Pickering Lane	1	Victorian semi-detached house	C	1 of 2	W Woollahra
Pickering Lane	3	Victorian semi-detached house	C	2 of 2	W Woollahra
Pickering Lane	5	Victorian timber house	C		W Woollahra
<b>Quambi Place</b>	<i>Odd</i>				
Quambi Place	1	Inter-war house	C		Rosemont
Quambi Place	3-3a	Inter-war house	C		Rosemont
Quambi Place	5	Inter-war house and gardens	H		Rosemont

Street	Street Number	Description	H or C	Group Element	Precinct
Quambi Place	7	Inter-war house	C		Rosemont
Quambi Place	9-9a	Inter-war house	C		Rosemont
Quambi Place	11	Inter-war house	C		Rosemont
<b>Quambi Place</b>	<i>Even</i>				
Quambi Place	2	Inter-war house	C		Rosemont
Quambi Place	10	Inter-war house	C		Rosemont
Quambi Place	12	Inter-war house	C		Rosemont
<b>Queen Street</b>	<i>Odd</i>				
Queen Street	7-9	Victorian house	C		Queen St
Queen Street	13-15	Inter-war house	C		Queen St
Queen Street	17	Victorian terrace house	C	1 of 4	Queen St
Queen Street	19	Victorian terrace house	C	2 of 4	Queen St
Queen Street	21	Federation house	C	3 of 4	Queen St
Queen Street	23	Victorian terrace house	C	4 of 4	Queen St
Queen Street	25	Victorian commercial building	C		Queen St
Queen Street	27	Federation house	C		Queen St
Queen Street	29	Victorian house	C		Queen St
Queen Street	31	Victorian terrace house	C	1 of 3	Queen St
Queen Street	33	Victorian terrace house	C	2 of 3	Queen St
Queen Street	35	Victorian terrace house	C	3 of 3	Queen St
Queen Street	37	Inter-war flat building	C	1 of 3	Queen St
Queen Street	39	Inter-war flat building	C	2 of 3	Queen St
Queen Street	41	Inter-war flat building	C	3 of 3	Queen St
Queen Street	43	Federation building	C		Queen St
Queen Street	45	Victorian house	C		Queen St
Queen Street	49	Victorian house	C		Queen St
Queen Street	53	Victorian house	C		Queen St
Queen Street	55	Victorian corner shop	C		Queen St
Queen Street	59	Victorian terrace house	C	1 of 6	Queen St
Queen Street	61	Victorian terrace house	C	2 of 6	Queen St
Queen Street	63	Victorian terrace house	C	3 of 6	Queen St
Queen Street	65	Victorian terrace house	C	4 of 6	Queen St
Queen Street	67	Victorian terrace house	C	5 of 6	Queen St
Queen Street	69	Victorian terrace house	C	6 of 6	Queen St
Queen Street	71	Victorian house	C		Queen St
Queen Street	73	Victorian semi-detached house	C	1 of 2	Queen St
Queen Street	75	Victorian semi-detached house	C	2 of 2	Queen St
Queen Street	75a	Victorian terrace house	C	1 of 4	Queen St
Queen Street	77	Victorian terrace house	C	2 of 4	Queen St
Queen Street	79	Victorian terrace house	C	3 of 4	Queen St
Queen Street	81	Victorian terrace house	C	4 of 4	Queen St
Queen Street	83	Victorian shop	C	1 of 2	Queen St
Queen Street	85	Victorian shop	C	2 of 2	Queen St
Queen Street	87	Victorian terrace house	C	1 of 3	Queen St
Queen Street	89	Victorian terrace house	C	2 of 3	Queen St
Queen Street	91	Victorian terrace house	C	3 of 3	Queen St
Queen Street	93	Victorian house	C		Queen St
Queen Street	95	Federation building	C		Queen St
Queen Street	97	Federation Post Office building	H		Queen St

Street	Street Number	Description	H or C	Group Element	Precinct
Queen Street	101-103	Victorian commercial building	H		Queen St
Queen Street	105	Victorian shop	C	1 of 2	Queen St
Queen Street	107	Victorian shop	C	2 of 2	Queen St
Queen Street	115	Victorian house	H		Queen St
Queen Street	117	St. Kevins, house, front garden, fencing and trees	H		Queen St
Queen Street	119	Victorian house	H		Queen St
Queen Street	123	Victorian building, front fencing [former E S & A bank]	H		Queen St
Queen Street	125	Victorian semi-detached house	C	1 of 2	Queen St
Queen Street	127	Victorian semi-detached house	C	2 of 2	Queen St
Queen Street	129	Victorian house	C		Queen St
Queen Street	131	Victorian house	C		Queen St
Queen Street	133	Late twentieth century	C		Queen St
Queen Street	137	Inter-war flat building	C		Queen St
Queen Street	139	Victorian terrace house, street fencing	H		Queen St
Queen Street	141	Victorian terrace house	H		Queen St
Queen Street	143	Victorian terrace house	H		Queen St
Queen Street	145	Marathon - Victorian terrace house, front fencing	H		Queen St
Queen Street	147	Arabella - Victorian terrace house	H		Queen St
Queen Street	147a	Victorian semi-detached house, front fencing	H	1 of 2	Queen St
Queen Street	147b	Victorian semi-detached house, front fencing	H	2 of 2	Queen St
Queen Street	149	Victorian terrace house, street fencing	H		Queen St
Queen Street	151	Victorian terrace house	H		Queen St
Queen Street	153	Latona - Victorian building	H		Queen St
Queen Street	153a	The Grove group - four cottages, landscaped accessway, front fencing	H		Queen St
Queen Street	155	Libya - Victorian terrace house, front fencing	H		Queen St
Queen Street	157	Victorian terrace house, front fencing	H		Queen St
Queen Street	159	Victorian semi-detached house, outbuildings	H	1 of 2	Queen St
Queen Street	161	Victorian semi-detached house	H	2 of 2	Queen St
Queen Street	163	Inter-war flat building	C		Nelson
Queen Street	<i>Even</i>				
Queen Street	2a	Inter-war commercial building	C		Woollahra
Queen Street	2	Victorian terrace house	C	1 of 3	Queen St
Queen Street	4	Victorian terrace house	C	2 of 3	Queen St
Queen Street	6	Victorian terrace house	C	3 of 3	Queen St
Queen Street	8-16	Hughendon hotel, Victorian commercial building	C		Queen St
Queen Street	18	Inter-war house	C		Queen St
Queen Street	20	Victorian terrace building	H	1 of 4	Queen St
Queen Street	22	Victorian terrace building	H	2 of 4	Queen St
Queen Street	24	Victorian terrace building	H	3 of 4	Queen St
Queen Street	26	Victorian terrace building	H	4 of 4	Queen St
Queen Street	28	Victorian building and front fencing	H		Queen St
Queen Street	32	Victorian building	H		Queen St

Street	Street Number	Description	H or C	Group Element	Precinct
Queen Street	34	Victorian terrace building	H		Queen St
Queen Street	38	Victorian building	H		Queen St
Queen Street	42	Victorian building	H	1 of 2	Queen St
Queen Street	44	Victorian building	H	2 of 2	Queen St
Queen Street	46	Victorian building	H		Queen St
Queen Street	48	Victorian building	H		Queen St
Queen Street	50	Victorian terrace house	H	1 of 6	Queen St
Queen Street	52	Victorian terrace house	H	2 of 6	Queen St
Queen Street	54	Victorian terrace house	H	3 of 6	Queen St
Queen Street	56	Victorian terrace house	H	4 of 6	Queen St
Queen Street	58	Victorian terrace house	H	5 of 6	Queen St
Queen Street	60	Victorian terrace house	H	6 of 6	Queen St
Queen Street	62	Victorian terrace house, front fencing	H		Queen St
Queen Street	64	Victorian commercial building	H	1 of 2	Queen St
Queen Street	66	Victorian commercial building	H	2 of 2	Queen St
Queen Street	68	Victorian terrace house, front fencing	H	1 of 2	Queen St
Queen Street	70	Victorian terrace house, front fencing	H	2 of 2	Queen St
Queen Street	72	Victorian commercial building	H		Queen St
Queen Street	74	Federation commercial building	H	1 of 3	Queen St
Queen Street	76	Federation commercial building	H	2 of 3	Queen St
Queen Street	78	Federation commercial building	H	3 of 3	Queen St
Queen Street	80	Victorian shop	C		Queen St
Queen Street	82	Victorian shop	C		Queen St
Queen Street	84	Victorian shop	C		Queen St
Queen Street	88	Victorian shop	C	1 of 2	Queen St
Queen Street	90	Victorian shop	C	2 of 2	Queen St
Queen Street	92	Federation shop	C		Queen St
Queen Street	94	Victorian shop	C	1 of 2	Queen St
Queen Street	96	Victorian shop	C	2 of 2	Queen St
Queen Street	100	Victorian shop	C		Queen St
Queen Street	102	Victorian shop	C	1 of 3	Queen St
Queen Street	104	Victorian shop	C	2 of 3	Queen St
Queen Street	106	Victorian shop	C	3 of 3	Queen St
Queen Street	108	Victorian shop	C		Queen St
Queen Street	110	Federation shop	C		Queen St
Queen Street	114-116	Woollahra Hotel, Inter-war hotel	H		Queen St
Queen Street	118	Victorian corner shop	C		Queen St
Queen Street	126	Federation shop	C	1 of 2	Queen St
Queen Street	126a	Federation shop	C	2 of 2	Queen St
Queen Street	128	Victorian corner shop	C		Queen St
Queen Street	130	Victorian shop	C	1 of 2	Queen St
Queen Street	132	Victorian shop	C	2 of 2	Queen St
Queen Street	134	Victorian shop	C		Queen St
Queen Street	136	Victorian shop	C	1 of 2	Queen St
Queen Street	138	Victorian shop	C	2 of 2	Queen St
Queen Street	140	Victorian shop	C	1 of 2	Queen St
Queen Street	142	Victorian shop	C	2 of 2	Queen St
Queen Street	144	Victorian shop	C		Queen St
Queen Street	146	Victorian shop	C	1 of 3	Queen St
Queen Street	148	Victorian shop	C	2 of 3	Queen St
Queen Street	150	Victorian shop	C	3 of 3	Queen St

Street	Street Number	Description	Heritage Category	Group Element	Precinct
Queen Street	156	Victorian terrace	C	1 of 3	Queen St
Queen Street	158	Victorian terrace	C	2 of 3	Queen St
Queen Street	160	Victorian terrace	C	3 of 3	Queen St
Queen Street	162	Victorian shop	C		Queen St
Queen Street	162a	Victorian shop	C		Queen St
Queen Street	164	Inter-war flat building	C		Queen St
Queen Street	166	Inter-war flat building	C		Queen St
Queen Street	166a	Inter-war flat building	C		Queen St
Queen Street	168	Inter-war house	C		Queen St
Queen Street	170	Victorian terrace house	H	1 of 2	Queen St
Queen Street	172	Victorian terrace house	H	2 of 2	Queen St
Queen Street	178	Victorian Cottage, front fencing	H		Queen St
Queen Street	180	Victorian Cottage	H		Queen St
Queen Street	182	Victorian Cottage, front fencing	H		Queen St
Queen Street	184	Victorian semi-detached house	H	1 of 2	Queen St
Queen Street	186	Victorian semi-detached house	H	2 of 2	Queen St
Queen Street	188	Victorian semi-detached house, front garden and fencing	H	1 of 2	Queen St
Queen Street	190	Victorian semi-detached house, front garden and fencing	H	2 of 2	Queen St
Queen Street	192	Victorian semi-detached house	H	1 of 2	Queen St
Queen Street	194	Victorian semi-detached house	H	2 of 2	Queen St
Queen Street	196	Inter-war house	H		Queen St
Queen Street	198	The former schoolhouse, being an outbuilding at the rear of the property	H		Queen St
Queen Street	200	Inter-war flat building	C		Nelson
<b>Raine Street</b>	<i>Odd</i>				
Raine Street	1	Victorian terrace house	C	1 of 3	Fletcher
Raine Street	3	Victorian terrace house	C	2 of 3	Fletcher
Raine Street	5	Victorian terrace house	C	3 of 3	Fletcher
Raine Street	13	Victorian house	C		Fletcher
Raine Street	13a	Victorian house	C		Fletcher
Raine Street	15	Inter-war flat building	C		Fletcher
<b>Raine Street</b>	<i>Even</i>				
Raine Street	4	Victorian house	C		Fletcher
Raine Street	6	Victorian house	C		Fletcher
Raine Street	20	Inter-war house	C		Fletcher
<b>Rosemont Avenue</b>	<i>Odd</i>				
Rosemont Avenue within road reserve		London Plane Trees	H		Rosemont
Rosemont Avenue	1	Lenana – Inter-war flat building, iron gateposts and gates	H		Rosemont
Rosemont Avenue	3	Lyndhurst Gardens – Inter-war flat building, forecourt	H		Rosemont
Rosemont Avenue	5	Inter-war house			Rosemont
Rosemont Avenue	7	Inter-war house	C		Rosemont
Rosemont Avenue	17	Inter-war house	C		Rosemont

Street	Street Number	Description	H or C	Group Element	Precinct
Rosemont Avenue	<i>Even</i>		C		
Rosemont Avenue	2	Inter-war house	C		Rosemont
Rosemont Avenue	4	Inter-war house	C		Rosemont
Rosemont Avenue	6-6a	Inter-war house	C		Rosemont
Rosemont Avenue	8	Inter-war house	C		Rosemont
Rosemont Avenue	10	Inter-war house	C		Rosemont
Rosemont Avenue	12	Inter-war flat building	C		Rosemont
Rosemont Avenue	14	Rosemont – Victorian house, outbuildings, gardens	H		Rosemont
Rosemont Avenue	20	Inter-war house	C		Rosemont
Rosemont Avenue	22	Inter-war house	C		Rosemont
Rosemont Avenue	24a	Late twentieth century residential flat building	C		Rosemont
Rosemont Avenue	24	Inter-war flat building	C		Rosemont
Rosemont Avenue	26	Gowrie – Inter-war flat building	H		Rosemont
<b>Roslyndale Avenue</b>	<i>Even</i>				
Roslyndale Avenue	4	Interwar house	C		Rosemont
<b>Rowe Street</b>	<i>Odd</i>				
Rowe Street	23	Victorian house	C		Grafton
Rowe Street	25	Victorian house	C		Grafton
Rowe Street	27	Victorian house	C		Grafton
Rowe Street	29	Victorian house	C		Grafton
Rowe Street	31	Victorian house	C		Grafton
Rowe Street	33	Inter-war flat building	C		Grafton
Rowe Street	37	Victorian house	C		Grafton
Rowe Street	39	Victorian semi-detached house	C	1 of 2	Grafton
Rowe Street	41	Victorian semi-detached house	C	2 of 2	Grafton
Rowe Street	43	Victorian house	C		Grafton
<b>Rush Street</b>	<i>Odd</i>				
Rush Street	5-7	Victorian house	C		W Woollahra
Rush Street	9	Victorian house	C		W Woollahra
Rush Street	11	Victorian house	C		W Woollahra
Rush Street	13	Victorian terrace house	C	1 of 5	W Woollahra
Rush Street	15	Victorian terrace house	C	2 of 5	W Woollahra
Rush Street	17	Victorian terrace house	C	3 of 5	W Woollahra
Rush Street	19	Victorian terrace house	C	4 of 5	W Woollahra
Rush Street	21	Victorian terrace house	C	5 of 5	W Woollahra
Rush Street	23	Victorian house	C		W Woollahra
Rush Street	25	Victorian semi-detached house	C	1 of 2	W Woollahra
Rush Street	27	Victorian semi-detached house	C	2 of 2	W Woollahra
Rush Street	29	Victorian terrace house	C	1 of 7	W Woollahra
Rush Street	31	Victorian terrace house	C	2 of 7	W Woollahra
Rush Street	33	Victorian terrace house	C	3 of 7	W Woollahra
Rush Street	35	Victorian terrace house	C	4 of 7	W Woollahra
Rush Street	37	Victorian terrace house	C	5 of 7	W Woollahra
Rush Street	39	Victorian terrace house	C	6 of 7	W Woollahra
Rush Street	41	Victorian terrace house	C	7 of 7	W Woollahra
Rush Street	45	Victorian house	C		W Woollahra
Rush Street	47	Victorian house	C		W Woollahra

Street	Street Number	Description	H or C	Group Element	Precinct
Rush Street	<i>Even</i>				W Woollahra
Rush Street	2	Victorian terrace house	C	1 of 3	W Woollahra
Rush Street	4	Victorian terrace house	C	2 of 3	W Woollahra
Rush Street	6	Victorian terrace house	C	3 of 3	W Woollahra
Rush Street	10	Victorian house	C		W Woollahra
Rush Street	12	Victorian terrace house	C	1 of 4	W Woollahra
Rush Street	14	Victorian terrace house	C	2 of 4	W Woollahra
Rush Street	16	Victorian terrace house	C	3 of 4	W Woollahra
Rush Street	18	Victorian terrace house	C	4 of 4	W Woollahra
<b>Russell Street</b>	<i>Odd</i>				
Russell Street	1	Federation house	C		Harbour View
Russell Street	3	Federation house	C		Harbour View
Russell Street	5	Federation house	C		Harbour View
Russell Street	7	Federation house	C		Harbour View
Russell Street	9	Federation house	C		Harbour View
Russell Street	11	Inter-war flat building	C		Harbour View
Russell Street	<i>Even</i>				
Russell Street	2	Federation house	C		Harbour View
Russell Street	4	Federation house	C		Harbour View
Russell Street	6	Federation house	C		Harbour View
Russell Street	10	Federation house	C		Harbour View
Russell Street	12	Federation house	C		Harbour View
Russell Street	14	Inter-war house	C		Harbour View
<b>Saber Street</b>	<i>Even</i>				
Saber Street	10	Victorian house	C		Grafton
Saber Street	12	Victorian house	C		Grafton
Saber Street	14	Victorian terrace house	C	1 of 4	Grafton
Saber Street	16	Victorian terrace house	C	2 of 4	Grafton
Saber Street	18	Victorian terrace house	C	3 of 4	Grafton
Saber Street	20	Victorian terrace house	C	4 of 4	Grafton
Saber Street	22	Victorian house	C		Grafton
<b>Small Street</b>	<i>Odd</i>				
Small Street	1	Victorian corner shop	C	1 of 2	Fletcher
Small Street	3	Victorian house	C	2 of 2	Fletcher
Small Street	5	Victorian house	C		Fletcher
Small Street	11	Sandstone Retaining Wall	C		Fletcher
Small Street	13	Sandstone Retaining Wall	C		Fletcher
Small Street	15	Federation house	C		Fletcher
Small Street		Sandstone retaining wall to road separation	C		Fletcher
Small Street	21	Federation house	C	1 of 2	Fletcher
Small Street	23	Federation house	C	2 of 2	Fletcher
Small Street	<i>Even</i>				Fletcher
Small Street	2	Victorian house	C		Fletcher
Small Street	12	Victorian house	C		Fletcher
<b>Spicer Lane</b>	<i>Odd</i>				

Street	Street Number	Description	H or C	Group Element	Precinct
Spicer Lane	7	Victorian house	C		W Woollahra
Spicer Lane	9	Victorian house	C		W Woollahra
<b>Spicer Street</b>	<i>Odd</i>				
Spicer Street	1	Victorian house	C		W Woollahra
Spicer Street	5	Victorian semi-detached house	C	1 of 2	W Woollahra
Spicer Street	7	Victorian semi-detached house	C	2 of 2	W Woollahra
Spicer Street	9	Victorian house	C		W Woollahra
Spicer Street	11	Victorian house	C		W Woollahra
Spicer Street	17	Victorian house	C		W Woollahra
Spicer Street	19	Victorian semi-detached house	C	1 of 2	W Woollahra
Spicer Street	21	Victorian semi-detached house	C	2 of 2	W Woollahra
Spicer Street	25	Victorian terrace house	C	1 of 5	W Woollahra
Spicer Street	27	Victorian terrace house	C	2 of 5	W Woollahra
Spicer Street	29	Victorian terrace house	C	3 of 5	W Woollahra
Spicer Street	31	Victorian terrace house	C	4 of 5	W Woollahra
Spicer Street	33	Victorian terrace house	C	5 of 5	W Woollahra
<b>Spicer Street</b>	<i>Even</i>				
Spicer Street	2	Victorian terrace house, front fencing	H	1 of 6	W Woollahra
Spicer Street	4	Victorian terrace house, front fencing	H	2 of 6	W Woollahra
Spicer Street	6	Victorian terrace house, front fencing	H	3 of 6	W Woollahra
Spicer Street	8	Victorian terrace house, front fencing	H	4 of 6	W Woollahra
Spicer Street	10	Victorian terrace house, front fencing	H	5 of 6	W Woollahra
Spicer Street	12	Victorian terrace house, front fencing	H	6 of 6	W Woollahra
Spicer Street	14	Victorian semi-detached house	C	1 of 2	W Woollahra
Spicer Street	16	Victorian semi-detached house	C	2 of 2	W Woollahra
Spicer Street	18	Victorian semi-detached house	C	1 of 2	W Woollahra
Spicer Street	20	Victorian semi-detached house	C	2 of 2	W Woollahra
Spicer Street	22	Victorian semi-detached house	C	1 of 2	W Woollahra
Spicer Street	24	Victorian semi-detached house	C	2 of 2	W Woollahra
Spicer Street	26	Victorian semi-detached house	C	1 of 2	W Woollahra
Spicer Street	28	Victorian semi-detached house	C	2 of 2	W Woollahra
Spicer Street	30	Victorian terrace house	C	1 of 3	W Woollahra
Spicer Street	32	Victorian terrace house	C	2 of 3	W Woollahra
Spicer Street	34	Victorian terrace house	C	3 of 3	W Woollahra
Spicer Street	36	Victorian house	C		W Woollahra
Spicer Street	38	Victorian house	C		W Woollahra
<b>Tara Street</b>	<i>Odd</i>				
Tara Street	3a	Victorian house	C		W Woollahra
Tara Street	5	Victorian house	C		W Woollahra
Tara Street	7	Victorian house	C		W Woollahra
Tara Street	9	Victorian house	C		W Woollahra
Tara Street	11a	Victorian building	C		W Woollahra
<b>The Grove</b>	<i>Even</i>				
The Grove	1-4	See No. 153a Queen Street	H		Nelson
<b>Trelawney Street</b>	<i>Odd</i>				

Street	Street Number	Description	H or C	Group Element	Precinct
Trelawney Street See also 388 Edgecliff Road building	1	Federation semi-detached house, street fencing	H	2 of 2	Rosemont
Trelawney Street	3	Inter-war flat building	C		Rosemont
Trelawney Street	7	Great Tree – Inter-war house, street fencing	H		Rosemont
Trelawney Street	9	Inter-war house	C		Rosemont
Trelawney Street	13	Federation house	C		Rosemont
Trelawney Street	15	Victorian house	C		Rosemont
Trelawney Street	17	Victorian house	C		Rosemont
Trelawney Street	19	Victorian house	C		Rosemont
Trelawney Street	21	Victorian house	C		Rosemont
Trelawney Street	<i>Even</i>				
Trelawney Street	2	Kauri Pine	H		Rosemont
Trelawney Street	12a	Inter-war house	C		Rosemont
Trelawney Street	14	Victorian house	C		Rosemont
Trelawney Street	14a	Victorian house	C		West Woollahra
Trelawney Street See also 86 Ocean Street	16	Victorian house	C		West Woollahra
<b>Vernon Street</b>	<i>Odd</i>				
Vernon Street	35	Victorian semi-detached house	C	1 of 2	Grafton
Vernon Street	37	Victorian semi-detached house	C	2 of 2	Grafton
Vernon Street	<i>Even</i>				
Vernon Street	16	Victorian house	C		Grafton
Vernon Street	18	Victorian house	C		Grafton
<b>Victoria Avenue</b>	<i>Odd</i>				
Victoria Avenue	3	Victorian semi-detached house	C	1 of 2	W Woollahra
Victoria Avenue	5	Victorian semi-detached house	C	2 of 2	W Woollahra
Victoria Avenue	7	Victorian terrace house	C	1 of 3	W Woollahra
Victoria Avenue	9	Victorian terrace house	C	2 of 3	W Woollahra
Victoria Avenue	11	Victorian terrace house	C	3 of 3	W Woollahra
Victoria Avenue	13	Victorian corner shop	C		W Woollahra
Victoria Avenue	15	Victorian terrace house	C	1 of 3	W Woollahra
Victoria Avenue	17	Victorian terrace house	C	2 of 3	W Woollahra
Victoria Avenue	19	Victorian terrace house	C	3 of 3	W Woollahra
Victoria Avenue	21	Victorian house	C		Queen Street
Victoria Avenue	<i>Even</i>				
Victoria Avenue	2	Victorian house	C		W Woollahra
Victoria Avenue	4	Victorian semi-detached house	C	1 of 2	W Woollahra
Victoria Avenue	6	Victorian semi-detached house	C	2 of 2	W Woollahra
Victoria Avenue	10	Victorian house	C		W Woollahra
Victoria Avenue	12	Victorian house, front fencing	H		W Woollahra
<b>View Street</b>	<i>Odd</i>				

Street	Street Number	Description	H or C	Group Element	Precinct
View Street	1	Victorian house	C		Fletcher
View Street	3	Victorian house	C	1 of 4	Fletcher
View Street	5	Victorian house	C	2 of 4	Fletcher
View Street	7	Victorian house	C	3 of 4	Fletcher
View Street	9	Victorian house	C	4 of 4	Fletcher
View Street	11	Federation terrace house	C	1 of 4	Fletcher
View Street	13	Federation terrace house	C	2 of 4	Fletcher
View Street	15	Federation terrace house	C	3 of 4	Fletcher
View Street	17	Federation terrace house	C	4 of 4	Fletcher
View Street	19	Victorian house	C		Fletcher
View Street	21	Victorian terrace house	C	1 of 17	Fletcher
View Street	23	Victorian terrace house	C	2 of 17	Fletcher
View Street	25	Victorian terrace house	C	3 of 17	Fletcher
View Street	27	Victorian terrace house	C	4 of 17	Fletcher
View Street	29	Victorian terrace house	C	5 of 17	Fletcher
View Street	31	Victorian terrace house	C	6 of 17	Fletcher
View Street	33	Victorian terrace house	C	7 of 17	Fletcher
View Street	35	Victorian terrace house	C	8 of 17	Fletcher
View Street	37	Victorian terrace house	C	9 of 17	Fletcher
View Street	39	Victorian terrace house	C	10 of 17	Fletcher
View Street	41	Victorian terrace house	C	11 of 17	Fletcher
View Street	43	Victorian terrace house	C	12 of 17	Fletcher
View Street	45	Victorian terrace house	C	13 of 17	Fletcher
View Street	47	Victorian terrace house	C	14 of 17	Fletcher
View Street	49	Victorian terrace house	C	15 of 17	Fletcher
View Street	51	Victorian terrace house	C	16 of 17	Fletcher
View Street	53	Victorian terrace house	C	17 of 17	Fletcher
View Street	<i>Even</i>				
View Street	2	Victorian house	C		Fletcher
View Street	4	Victorian house	C		Fletcher
View Street	24	Victorian house	C	1 of 2	Fletcher
View Street	26	Victorian house	C	2 of 2	Fletcher
View Street	28	Victorian house	C		Fletcher
View Street	30	Victorian house	C		Fletcher
View Street	34	Inter-war semi-detached house	C	1 of 2	Fletcher
View Street	36	Inter-war semi-detached house	C	2 of 2	Fletcher
View Street	42	Victorian house	C		Fletcher
View Street	52	Victorian house	C		Fletcher
View Street	58	Victorian house	C		Fletcher
View Street	60-62	Inter-war flat building	C		Fletcher
<b>Waimea Avenue</b>	<i>Odd</i>				
Waimea Avenue	1	Victorian terrace house, front fencing	H	1 of 7	Nelson
Waimea Avenue	3	Victorian terrace house, front fencing	H	2 of 7	Nelson
Waimea Avenue	5	Victorian terrace house, front fencing	H	3 of 7	Nelson
Waimea Avenue	7	Victorian terrace house, front fencing	H	4 of 7	Nelson
Waimea Avenue	9	Victorian terrace house, front fencing	H	5 of 7	Nelson
Waimea Avenue	11	Victorian terrace house, front fencing	H	6 of 7	Nelson
Waimea Avenue	13	Victorian terrace house, front fencing	H	7 of 7	Nelson
Waimea Avenue	<i>Even</i>				

Street	Street Number	Description	H or C	Group Element	Precinct
Waimea Avenue	2	Victorian terrace house, front fencing	H	1 of 6	Nelson
Waimea Avenue	4	Victorian terrace house, front fencing	H	2 of 6	Nelson
Waimea Avenue	6	Victorian terrace house, front fencing	H	3 of 6	Nelson
Waimea Avenue	8	Victorian terrace house, front fencing	H	4 of 6	Nelson
Waimea Avenue	10	Victorian terrace house, front fencing	H	5 of 6	Nelson
Waimea Avenue	12	Victorian terrace house, front fencing	H	6 of 6	Nelson
Waimea Avenue	14	Hellen Keller house (formerly Waimea) – Victorian house, grounds, trees	H		Nelson
<b>Wallaroy Road</b>	<i>Odd</i>				
Wallaroy Road aka 283 Edgecliff Road	85	Victorian house and sandstone walling	C		Rosemont
<b>Wallis Street</b>	<i>Odd</i>				
Wallis Street	113	Federation semi-detached house	C	1 of 2	Grafton
Wallis Street	115	Federation semi-detached house	C	2 of 2	Grafton
Wallis Street	121	Victorian house	C		Grafton
Wallis Street	123	Victorian house	C		Grafton
Wallis Street	129	Victorian house	C		Grafton
Wallis Street	<i>Even</i>				
Wallis Street	2	Victorian house	C		W Woollahra
Wallis Street	4	Victorian house	C		W Woollahra
Wallis Street	6	Victorian house	C		W Woollahra
Wallis Street	10	Late twentieth century house	C		W Woollahra
Wallis Street	14	Victorian semi-detached house	C	1 of 2	W Woollahra
Wallis Street	16	Victorian semi-detached house	C	2 of 2	W Woollahra
Wallis Street	20	Victorian building	C	1 of 2	W Woollahra
Wallis Street	20a	Victorian building	C	2 of 2	W Woollahra
Wallis Street	28	Victorian house	C		W Woollahra
Wallis Street	34	Victorian terrace house	C	1 of 4	W Woollahra
Wallis Street	36	Victorian terrace house	C	2 of 4	W Woollahra
Wallis Street	38	Victorian terrace house	C	3 of 4	W Woollahra
Wallis Street	40	Victorian terrace house	C	4 of 4	W Woollahra
Wallis Street	42	Late twentieth century semi-detached house	C	1 of 2	W Woollahra
Wallis Street	44	Late twentieth century semi-detached house	C	2 of 2	W Woollahra
Wallis Street	46	Victorian semi-detached house	C	1 of 2	W Woollahra
Wallis Street	48	Victorian semi-detached house	C	2 of 2	W Woollahra
Wallis Street	50	Victorian semi-detached house	C	1 of 2	W Woollahra
Wallis Street	52	Victorian semi-detached house	C	2 of 2	W Woollahra
Wallis Street	54	Victorian semi-detached house	C	1 of 2	W Woollahra
Wallis Street	56	Victorian semi-detached house	C	2 of 2	W Woollahra
Wallis Street	58	Victorian house	C		W Woollahra
Wallis Street	60	Victorian house	C		W Woollahra
Wallis Street	62	Victorian corner shop	C		W Woollahra
Wallis Street	64	Victorian corner shop	C		W Woollahra
Wallis Street	66	Victorian terrace house	C	1 of 7	W Woollahra

Street	Street Number	Description	H or C	Group Element	Precinct
Wallis Street	68	Victorian terrace house	C	2 of 7	W Woollahra
Wallis Street	70	Victorian terrace house	C	3 of 7	W Woollahra
Wallis Street	72	Victorian terrace house	C	4 of 7	W Woollahra
Wallis Street	74	Victorian terrace house	C	5 of 7	W Woollahra
Wallis Street	76	Victorian terrace house	C	6 of 7	W Woollahra
Wallis Street	78	Victorian terrace house	C	7 of 7	W Woollahra
Wallis Street	80	Victorian semi-detached house	C	1 of 2	W Woollahra
Wallis Street	82	Victorian semi-detached house	C	2 of 2	W Woollahra
Wallis Street	84	Victorian semi-detached house	C	1 of 2	W Woollahra
Wallis Street	86	Victorian semi-detached house	C	2 of 2	W Woollahra
Wallis Street	90	Victorian house	C		W Woollahra
Wallis Street	96	Inter-war flat building	C		Nelson
Wallis Street	98	Inter-war flat building	C		Nelson
Wallis Street	100	Inter-war flat building	C		Nelson
Wallis Street	102	Victorian terrace house, front fencing	H	1 of 8	Nelson
Wallis Street	104	Victorian terrace house, front fencing	H	2 of 8	Nelson
Wallis Street	106	Victorian terrace house, front fencing	H	3 of 8	Nelson
Wallis Street	108	Victorian terrace house, front fencing	H	4 of 8	Nelson
Wallis Street	110	Victorian terrace house, front fencing	H	5 of 8	Nelson
Wallis Street	112	Victorian terrace house, front fencing	H	6 of 8	Nelson
Wallis Street	114	Victorian terrace house, front fencing	H	7 of 8	Nelson
Wallis Street	116	Victorian terrace house, front fencing	H	8 of 8	Nelson
Wallis Street, north west corner of Nelson Street	118	Brougham building, grounds, 2 Norfolk Island Pines, Hoop Pine	H		Nelson
Wallis Street		Sandstone carved gateposts to Woods Avenue	H		Nelson
<b>Wellington Street</b>					
<i>Odd</i>					
Wellington Street	1	Federation house	C		Rosemont
Wellington Street	3	Late 20 <sup>th</sup> century house	C		Rosemont
Wellington Street	5	Federation house	C		Rosemont
Wellington Street	9	Inter-war house	C		Rosemont
Wellington Street	11	Victorian house, gardens, front fencing	H		Rosemont
Wellington Street	17	Federation house	C		Rosemont
Wellington Street	19	Victorian house	C		Rosemont
<i>Even</i>					
Wellington Street					Rosemont
Wellington Street	2	Inter-war flat building	C		Rosemont
Wellington Street	4	Inter-war flat building	C		Rosemont
Wellington Street	6	Dilbhor - Victorian house	H		Rosemont
<b>Woods Avenue</b>					
<i>All</i>					
Woods Avenue	1a	Victorian terrace house, front fencing	H		Nelson
Woods Avenue	1	Victorian terrace house, front fencing	H	1 of 6	Nelson
Woods Avenue	2	Victorian terrace house, front fencing	H	2 of 6	Nelson
Woods Avenue	3	Victorian terrace house, front fencing	H	3 of 6	Nelson
Woods Avenue	4	Victorian terrace house, front fencing	H	4 of 6	Nelson
Woods Avenue	5	Victorian terrace house, front fencing	H	5 of 6	Nelson
Woods Avenue	6	Victorian terrace house, front fencing	H	6 of 6	Nelson
Woods Avenue	7-10	Norfolk Island Pine	H		Nelson
Woods Avenue	11	Victorian terrace house, front fencing	H	1 of 4	Nelson

Street	Street Number	Description	H or C	Group Element	Precinct
Woods Avenue	12	Victorian terrace house, front fencing	H	2 of 4	Nelson
Woods Avenue	13	Victorian terrace house, front fencing	H	3 of 4	Nelson
Woods Avenue	14	Victorian terrace house, front fencing	H	4 of 4	Nelson
Woods Avenue	15	Victorian terrace house, front fencing	H	1 of 4	Nelson
Woods Avenue	16	Victorian terrace house, front fencing	H	2 of 4	Nelson
Woods Avenue	17	Victorian terrace house, front fencing	H	3 of 4	Nelson
Woods Avenue	18	Victorian terrace house, front fencing	H	4 of 4	Nelson
Woods Avenue	19	Victorian terrace house, front fencing	H		Nelson

# PART 6

Repealed by WDCP2015 on 23/05/15

Repealed by WDCP2015 on 23/05/15

# Glossary and appendices

## PART 6

### Appendix A - Glossary

<b>Adaptation</b>	means modifying a place to suit the existing use or a proposed use.
<b>Advertisement</b>	means a sign, notice, device or representation in the nature of an advertisement visible for any public place or public reserve or from any navigable water.
<b>Advertising sign</b>	in relation to any one occupancy shall mean the gross or total face area of each and every advertisement or advertising area visible from a public place and displayed on or from that part of the building occupied by any one tenant.
<b>Advertising structure</b>	means a structure used or to be used principally for the display of an advertisement.
<b>Aesthetic significance</b>	means significance due to positive visual or sensory appeal, landmark qualities and/or creative or technical excellence.
<b>Alter</b>	<p>alter in relation to a heritage item or to a building or work within a heritage conservation area or to an inter-war flat building, means:</p> <ul style="list-style-type: none"> <li>▪ make structural changes to the outside of the heritage item, building or work, or inter-war flat building, or</li> <li>▪ make non-structural changes to the detail, fabric, finish or appearance of the outside of the heritage item, building or work, or inter-war flat building, but not changes that involve the maintenance of the existing detail, fabric, finish and appearance of the outside of the heritage item, building or work.</li> </ul>
<b>Amenity</b>	means the enjoyment of the environment, whether by the community or by an individual, arising from the use of property, dwellings or publicly accessible land, community facilities or open space and includes, but is not limited to, the enjoyment of sunlight, privacy and views.
<b>Ancillary development</b>	means a building or structure, other than a dwelling house, dual occupancy, mixed development, residential flat building or other housing type, but including sheds, pool houses, detached garages, gazebos, separate laundries, pagodas, swimming pools and pergolas.
<b>Archaeological site</b>	means the site of one or more relics.
<b>Balcony</b>	means a raised platform added to the enclosing envelope of a building and unenclosed except for the external enclosing walls of the building and / or an approved balustrade or privacy screen.
<b>Building footprint</b>	means the area of land measured at finished ground level, which contains all external walls and balconies of a dwelling house, dual occupancy or residential flat building including all above ground levels.

<b>Burra Charter (and its guidelines)</b>	means the charter adopted by Australia ICOMOS, which establishes the nationally accepted principles for the conservation of places of cultural significance.
<b>Conservation</b>	means all the processes of looking after a place so as to retain its cultural significance. It includes maintenance and may, according to circumstance, include preservation, restoration, reconstruction and adaptation and will be commonly a combination of more than one of these.
<b>Conservation management plan (CMP)</b>	means a document prepared in accordance with the requirements of the NSW Heritage Office that establishes the heritage significance of an item, place or heritage conservation area and identifies conservation policies and management mechanisms that are appropriate to enable that significance to be retained.
<b>Conservation policy</b>	is a succinct and concise statement intended to guide all future conservation and development of heritage items, based on the assessed significance of the place, and should be suitable for formal adoption by the item's occupiers, owners and consent authorities.
<b>Contributory building</b>	means a building and its setting, which contributes to the heritage significance of a conservation area but which is not listed as a heritage item in WLEP 1995.
<b>Contributory item</b>	means a building, work, archaeological site, tree or place and its setting, which contributes to the heritage significance of the conservation area. The contributory properties may have historic, aesthetic, social or scientific values but will most typically have historic and/or aesthetic significance including streetscape value.
<b>Council</b>	means the Woollahra Municipal Council.
<b>Cultural landscape</b>	means broad geographical areas of the landscape that have been modified by human activity which may contain various heritage items, contributory items or heritage conservation areas and act as the heritage curtilage to those items or areas.
<b>Cultural plantings</b>	means plantings of either ornamental or native plants deliberately made by humans.
<b>Curtilage</b>	means the geographical area that provides the physical context for an item and which contributes to its heritage significance. Land title boundaries and heritage curtilages do not necessarily coincide.
<b>DCP</b>	Development control plan
<b>Deep soil landscape area</b>	means that area of a site with no above ground, ground level or subterranean development. Paved surfaces, driveways, pathways or tennis courts do not constitute deep soil landscape area.

<b>Demolition</b>	in relation to a heritage item or to a building or work within a heritage conservation area, means the damaging, defacing, destruction, pulling down or removal of the whole or part of the heritage item, building or work.
<b>Despoil</b>	means to irreparably alter the original external material finish of a building or place within a heritage conservation area [usually by applying a finish such as painting, rendering or bagging masonry].
<b>Development control plan (DCP)</b>	means a plan made either by a council or under section 72 or section 51A of the Environmental Planning & Assessment Act 1979 respectively. DCPs are used to provide more detailed provisions than those included in a local environmental plan (in the case of a DCP made by a council) or a regional environmental plan (in the case of a DCP made by the Department).
<b>Dwelling</b>	means a room or suite of rooms occupied or used or so constructed or adapted to be capable of being occupied or used as a separate domicile.
<b>Dwelling-house</b>	means a building containing one, but not more than one, dwelling on one allotment of land.
<b>Excavation permit</b>	means a permit issued by the NSW Heritage Office under the provisions of the NSW Heritage Act 1977 (as amended) which conditions the excavation of any known or potential archaeological site and is issued to the archaeologist who will undertake the work.
<b>Existing ground level</b>	means the surveyed level of the ground surface immediately prior to the proposed development and prior to any associated excavation, development or site works.
<b>Fabric</b>	refers to physical material or substances. In the case of a building, fabric would include materials such as brick, stone, timber, mortar, glazing, iron, steel, terracotta and slate etc.
<b>Floor space ratio</b>	in relation to a building, means the ratio of the gross floor area of the building to the site area of the land on which the building is or is proposed to be erected.
<b>Front fences and walls</b>	refers to fences and walls located or proposed to be located forward of the building facade.
<b>Gross floor area</b>	<p>in relation to a building, means the sum of the areas of each level of the building, including:</p> <ul style="list-style-type: none"> <li>a) the thickness of all external walls; and</li> <li>b) the area of voids, staircases and lift shafts, counted at each level; and</li> <li>c) that part of the area of balconies and verandahs which is in excess of 20m<sup>2</sup> per dwelling in the case of a building used or intended for use for residential purposes, or in excess of 10% of the site area in the case of a building used or intended for use for non-residential purposes; and</li> <li>d) any other areas of the building where the height of those areas exceeds 1.5 metres above ground level;</li> </ul> <p>and excluding –</p>

	<p>e) car parking to meet the requirements of the Council and any vehicular access thereto; and</p> <p>f) any area used or intended for use as a car parking station; and</p> <p>g) uncovered roof terraces; and</p> <p>h) any area used or intended for use as an arcade.</p>
<b>Group</b>	means a number of buildings, including a pair of buildings and a terrace, which display similar characteristics such as architectural style, form, scale and details.
<b>Habitable room</b>	means a room in a dwelling used for normal domestic activities that includes: a bedroom, living room, lounge room, music room, television room, kitchen, dining room, sewing room, study, playroom and sunroom; but excludes a bathroom, laundry, water closet, food storage pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom, clothes drying room and other spaces of a specialised nature occupies neither frequently not for extended periods.
<b>Height</b>	in relation to a building means the greatest distance measured vertically from any point on the building to the existing ground level immediately below that point.
<b>Heritage Act 1977</b>	means the statutory framework for the identification and conservation of heritage in NSW. The Act also describes the composition and powers of the NSW Heritage Council.
<b>Heritage assessment criteria</b>	means principles by which values for heritage significance are described and tested.
<b>Heritage conservation area</b>	<p>means land shown edged blue and marked "Heritage Conservation Area" on the heritage conservation map.</p> <p>Note: A heritage conservation area is an area that has a distinctive character of heritage significance, which is desirable to conserve and includes buildings, works, archaeological sites, trees and places and situated on or within the land. The Woollahra Heritage Conservation Area is land shown edged blue on the map marked 'Woollahra Heritage Conservation Area Map' that forms part of Woollahra LEP 1995.</p>
<b>Heritage impact statement</b>	means a document consisting of a statement demonstrating the heritage significance of a heritage item or heritage conservation area, or of a building, work, archaeological site, tree or place within a heritage conservation area, an assessment of the impact that proposed development will have on that significance and proposals for measures to minimise that impact.
<b>Heritage item</b>	<p>means a building, work, tree or place</p> <ul style="list-style-type: none"> <li>▪ located on land described in Part A of Schedule 3 of Woollahra LEP 1995, being land shown coloured orange on the heritage conservation map; and</li> <li>▪ described in Part B of Schedule 3 of Woollahra LEP 1995.</li> </ul>

<b>Heritage inventory</b>	means a list of heritage items, usually in a local environmental plan or regional environmental plan.
<b>Heritage significance</b>	means historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value for past, present or future generations.
<b>Infill development</b>	is new buildings sited and designed to 'fit in' and respect the context within which it is located. Infill development is required where an existing building is to be demolished or where there is a vacant allotment.
<b>Integrity</b>	in relation to a building or place, refers to the soundness, quality and condition of fabric. A heritage item is said to have integrity if its assessment and statement of significance is supported by sound research and analysis, and its fabric and curtilage are still largely intact.
<b>Inter-war flat building</b>	means a building of two or more storeys and containing two or more dwellings, constructed in the period from c.1918 to c.1950.
<b>Intrusive development</b>	is development which is inappropriate to the significant heritage character of Woollahra due to its form, scale, bulk, materials and proportions and which adversely affects adjoining buildings, the streetscape and general character of the area.
<b>Landscape plan</b>	means a plan or document outlining the extent, type and location of landscaping proposed for a development.
<b>Land subdivision</b>	includes the division of an allotment into two or more allotments, the realignment of boundaries of existing allotments and the consolidation of allotments.
<b>Local environmental plan (LEP)</b>	means a plan made under section 70 of the NSW Environmental Planning and Assessment Act 1979. An LEP is a legal document and generally provides the land use zones, Council objectives and development standards for different types of development.
<b>Local significance</b>	means items of heritage significance which have significance to the Woollahra local government area.
<b>Maintenance</b>	means the continuous protective care of the fabric of the item and its setting or of the building within the heritage conservation area, or of the inter-war flat building, but in relation to an inter-war flat building does not include the painting, rendering or similar treatment of external brickwork and other masonry surfaces that are not painted, rendered or similarly treated.
<b>Mixed development</b>	means one or more dwellings (or a boarding house) within the same building as, or on the same allotment of land as shops, commercial premises or any other non-residential use, which is not prohibited in the zone.
<b>Movable heritage</b>	means heritage items not fixed to a site or place (for example, furniture, locomotives and archives).

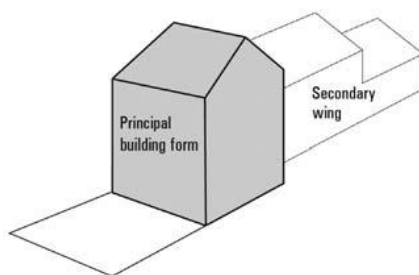
<b>NatHERS or equivalent</b>	NatHERS (Nationwide House Energy Rating System) is a computer simulation tool developed by the CSIRO for rating the thermal performance of houses across Australia. The Energy Management Task Force is responsible for delivering a NatHERS compliance protocol. Any software or paper checklist which passes under this protocol is deemed 'NatHERS or equivalent' (SEDA 1997).
<b>Native planting</b>	means native trees (not necessarily endemic) planted by humans.
<b>Natural vegetation/bushland</b>	means endemic vegetation of the natural bushland.
<b>Non-habitable room</b>	means a bathroom, laundry, water chest, food storage pantry, walk-in wardrobe, corridor, hallway, lobby, clothes drying room, and other spaces of a specialised nature occupied neither frequently nor for extended periods.
<b>North facing</b>	means the orientation range within 20 degrees east and 30 degrees west of true solar north.

**Note:** An error exists in the definition of 'north facing'. The correct definition should read: "means the orientation range within 20 degrees west and 30 degrees east of true solar north".

<b>NSW Heritage Manual</b>	is a document prepared by the NSW Heritage Office and comprises a series of publications explaining the three steps of the NSW Heritage Management System and how they can be applied.
<b>Objectives</b>	describes an outcome that development is required to achieve in relation to the Part 3 and 4 of this DCP. Objectives describe the intent of the related controls and are intended to fulfil the aims of the DCP.
<b>Open space</b>	is that area within a particular site upon which no building has been erected.
<b>Passive solar design</b>	means a dwelling design which combines the sun's energy with local climate characteristics to achieve comfortable temperatures without the use of mechanical devices.
<b>Place</b>	means a site, area, building or other work, group of buildings or other works together with associated contents and surrounds.
<b>Precinct</b>	refers to the geographical area identified as a discrete planning unit within the Woollahra Heritage Conservation Area shown in Appendix D.
<b>Preservation</b>	means maintaining the fabric of a place in its existing state and retarding deterioration.

**Principal building form**

means the original front building section and main roof, which contains the main rooms (see diagram)

**Principal elevation**

is the elevation of a building that faces a public space.

**Private domain**

is all land which is privately owned and which is not included in the public domain.

**Private open space**

means an area of land or of a building (such as a balcony or roof garden) which is appurtenant to a dwelling and intended for the exclusive use of the occupants of the dwelling and located and designed so as to offer visual privacy to the occupants. Private open space provided at above ground level must be located at a minimum of two (2) metres above ground level.

Note: For the purpose of calculating the area of private open space to be provided, tennis courts, swimming pools and spa pools are not included as private open space.

**Public domain**

refers to the community's shared spaces, the structures that relate to those spaces and the infrastructure that supports and serves them (Prime Minister's Urban Design Task Force 1994, p.6). The public domain includes streets, footpaths, squares and public open spaces, as well as items such as street trees, street furniture, lighting and drainage. The design of buildings and works on private land can entail significant implications for the public domain. For example, building form and location may affect the availability of public views, street shading, neighbourhood surveillance and visual amenity. At the same time, a high quality public domain can substantially add to the attractiveness and value of private houses.

**Public open space**

means land used or intended for use for recreational purposes by the public and includes parks, public gardens, reserves, pedestrian and cyclist accessways, playgrounds and sports grounds.

**Rarity**

refers to a value of significance. An item may have this type of significance because it represents a rare, endangered or unusual aspect of history or cultural heritage.

**Reconstruction**

means returning a place as nearly as possible to a known earlier state and is distinguished from restoration by the introduction of materials (new and old) into the fabric.

<b>Regional environmental plan</b>	means a plan made under section 51 of the Environmental Planning and Assessment Act 1979 (as amended). REP refers to environmental planning matters, which are considered by the Minister to be of significance for a region (or part of a region). The meaning of what constitutes a region for the purposes of an REP depends on the circumstances and the nature of the issues addressed. For example Sydney Harbour is defined as a 'region' by Sydney REP 23 – Sydney and Middle Harbours.
<b>Regional significance</b>	means items of heritage significance which are fine examples, or rare, at the regional community level.
<b>Relic</b>	means any deposit, object or material evidence relating to: <ul style="list-style-type: none"> <li>(a) the use or settlement of the area of Woollahra, not being Aboriginal habitation, which is more than 50 years old, or</li> <li>(b) Aboriginal habitation on the area of Woollahra commencing before or continuing after its occupation by persons of European extraction, including human remains.</li> </ul>
<b>Representativeness</b>	refers to a value of significance. An item may have this type of significance because it is a fine representative example of its type.
<b>Residential flat building</b>	means a building containing two or more dwellings, but does not include a building specifically defined elsewhere in the Woollahra LEP 1995 (as amended).
<b>Restoration</b>	means returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.
<b>Roofscape</b>	means a view or expanse of roofs including their pitch and form, and elements such as chimneys, parapets, party walls, guttering and roof materials.
<b>Front terrace</b>	means the flat roof of a lower level building, which is directly accessible for exclusive use from the dwelling it adjoins and is open to the sky except for a pergola or similar non-continuous shade device.
<b>Row</b>	means a continuous line of buildings.
<b>Secondary elevation</b>	means those elevations behind the principle building form.
<b>Setback</b>	means the horizontal distance between a building and a site boundary measured along a line perpendicular to the site boundary. The building includes all parts of the building from the lowest point (including where it extends below ground level) to its highest point.
<b>Significance</b>	refer to heritage significance.

**Significant building**

means:

- a building that has historic, scientific, cultural, social, archaeological, natural or aesthetic value for past, present or future generations, and which is not listed as a heritage item;
- a building that makes a positive contribution to the streetscape in terms of aesthetic and architectural qualities;
- a building that has local or state significance, or both; and/or
- a building that has a rarity value.

**Significant cultural plantings**

means those plants including native plants that were planted for a deliberate purpose and which reflect the taste or fashion of a particular period or were associated with a person or event of historical significance.

**Significant item**

a heritage item listed in Schedule 3 of Woollahra LEP 1995 or a contributory item identified in Part 5 – Schedule of significant items.

**Significant views**

refer to views and vistas from streets and public reserves which strongly contribute to a sense of place and cultural identity.

**Site area**

means the area of land to which an application for consent under the Act relates, including any land on which the development to which the application relates is permitted by or under this Plan, other than any long narrow corridor or access way in the case of hatchet-shaped or irregular allotments or land which was below the line of maximum tidal reach as at 15 December 1972 or at a date determined by Council.

**Soft landscaping**

means the area of private open space at ground level that is landscaped exclusively with gardens, lawns, shrubs or trees.

**Solar access**

means the amount of direct access to sunlight enjoyed by a building, room or open space.

**Spa pool**

means an impermeable structure capable of holding water to a depth greater than 300mm generally used for recreation purposes and includes hot tubs and other like structures, but does not include a swimming pool.

**State significance**

means items of heritage significance which are fine examples, or rare, at the State community level.

**Storey**

means any separate level within a building (not including levels below existing ground level provided for car parking or storage, or both, that protrudes less than 1.2m above existing ground level).

In determining the number of storeys which a building contains, the number shall be deemed to be the maximum number of storeys, floors or levels of a building which may be intersected by the same vertical line, not being a line which passes through any wall of the building

**Street alignment**

means the horizontal shape of the street reserve boundary.

<b>Street front zone</b>	comprises the front building elevation and visible roof, front yard, the side boundary fences in the front yard and the street boundary fence.
<b>Street name inlays</b>	refers to the red (usually) lettering insert in footpaths, kerbs or cutters found at many intersections to indicate the name of the respective street.
<b>Streetscape</b>	refers to the collection of visible elements in a street, including the form and treatment of buildings, setbacks, fences and walls, landscaping and trees, driveways and street layout and surfaces, utility services and street furniture such as lighting, signs, barriers and bus shelters.
<b>Swimming pool</b>	means a impermeable structure capable of holding water to a depth greater than 300mm for swimming or other recreation purposes, but does not include a spa pool.
<b>Terrace</b>	is a row of three or more buildings which are linked by common party walls and which share a similar design and form.
<b>Thermal mass</b>	refers to the ability of buildings and materials to store heat, principally from the sun. Material with good thermal mass include brick, concrete, mud brick, rammed earth and stone.
<b>Total advertising area</b>	In relation to any one premises shall mean the gross or total face area of all advertisements or advertising areas visible from a public place (is the sum of all advertising on all elevations).
<b>Tree</b>	means a long-lived woody perennial plant greater than (or potentially greater than) five metres in height or having a dimension greater than three metres in width with one or relatively few stems.
<b>Unbuilt upon area</b>	<p>in relation to landscaping requirements, means the area of the site located above the line of maximum tidal reach which is uncovered by the permissible building footprint. For example, if the building footprint for a given site is 40% of the site area, the 'unbuilt upon area' is 60% of the site.</p> <p>The unbuilt upon area may include:</p> <ul style="list-style-type: none"> <li>▪ the area of any setback; and</li> <li>▪ that part of the site occupied by an unroofed swimming pool or tennis court located at or very near ground level.</li> </ul>
<b>Wall height</b>	means the greatest distance measured vertically from the topmost point on an external wall of a building, other than a gable wall or the wall of a dormer window, to the existing ground level immediately below that point.

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## Appendix B - Supporting documents

Allen, Jack and Cottier, *Woollahra Heritage Conservation Area Development Control Plan Background Document*, 2002.

Woollahra Municipal Council *Information Requirements for Heritage Assessments and Statement of Heritage Impact for Development in Heritage Conservation Areas*.

Woollahra Municipal Council, *Heritage Report Information Requirements for Development within Heritage Items*.

Woollahra Municipal Council, *Parking Development Control Plan*.

Woollahra Municipal Council, *Woollahra Local Environmental Plan 1995*.

Woollahra Municipal Council, *DA Guide*.

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## Appendix C - Reference material

Australia ICOMOS, 1999, The Australia ICOMOS, Charter for the Conservation of Places of Cultural Significance (The Burra Charter), Australia ICOMOS.

Heritage Office and Department of Urban Affairs and Planning, 1996, NSW Heritage Manual.

Marquis-Kyle and Walker, M, 1992, The Illustrated Burra Charter, Australia ICOMOS Inc.

Kerr, J, The Conservation Plan.

Crosson, B, 1988, Signs underfoot- Street Name Inlays in Footpaths, Kerbs and Gutters in Old Woollahra

## Appendices D - L

Map of Woollahra HCA

Map of significant items

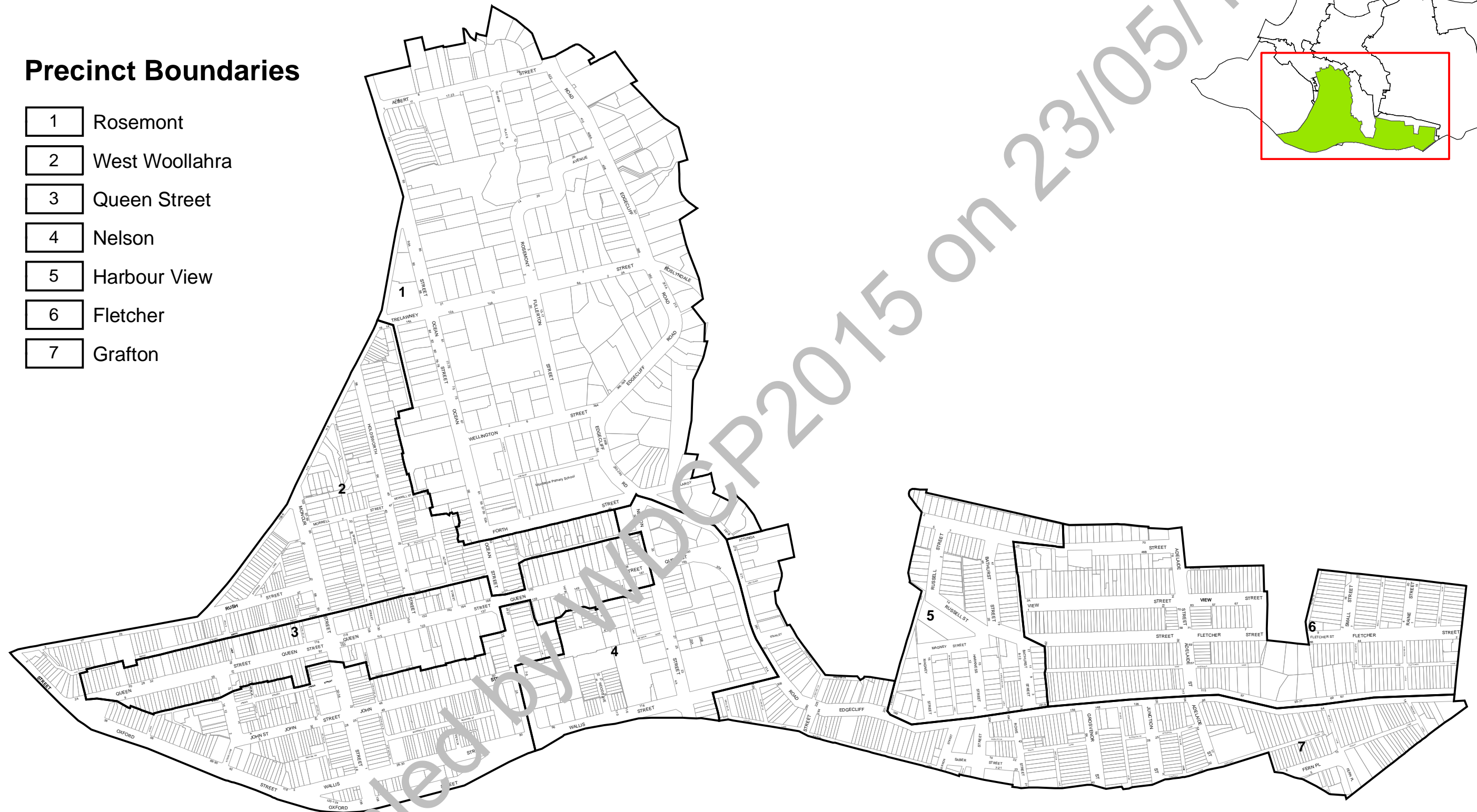
Individual precinct maps of significant items

Repealed by WDCP2015 on 23/05/15

# WOOLLAHRA HCA DEVELOPMENT CONTROL PLAN

## Precinct Boundaries

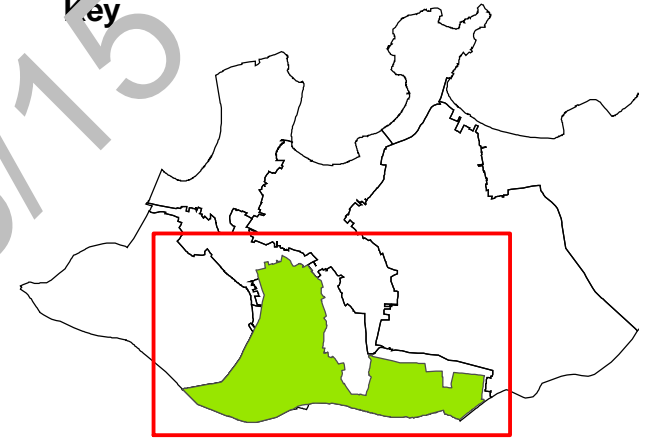
- |   |                |
|---|----------------|
| 1 | Rosemont       |
| 2 | West Woollahra |
| 3 | Queen Street   |
| 4 | Nelson         |
| 5 | Harbour View   |
| 6 | Fletcher       |
| 7 | Grafton        |



### Legend

- Woollahra Heritage Conservation Area
- Property Boundaries

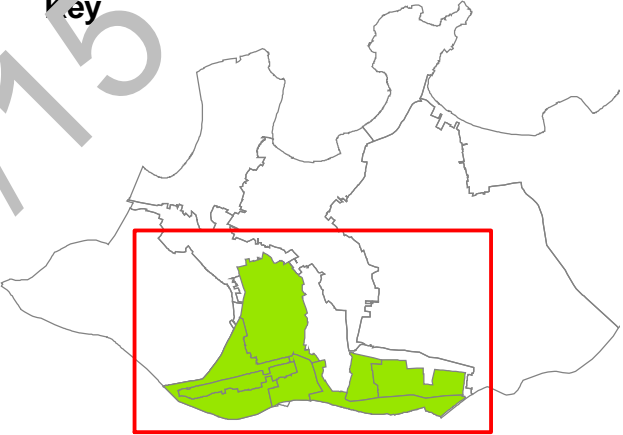
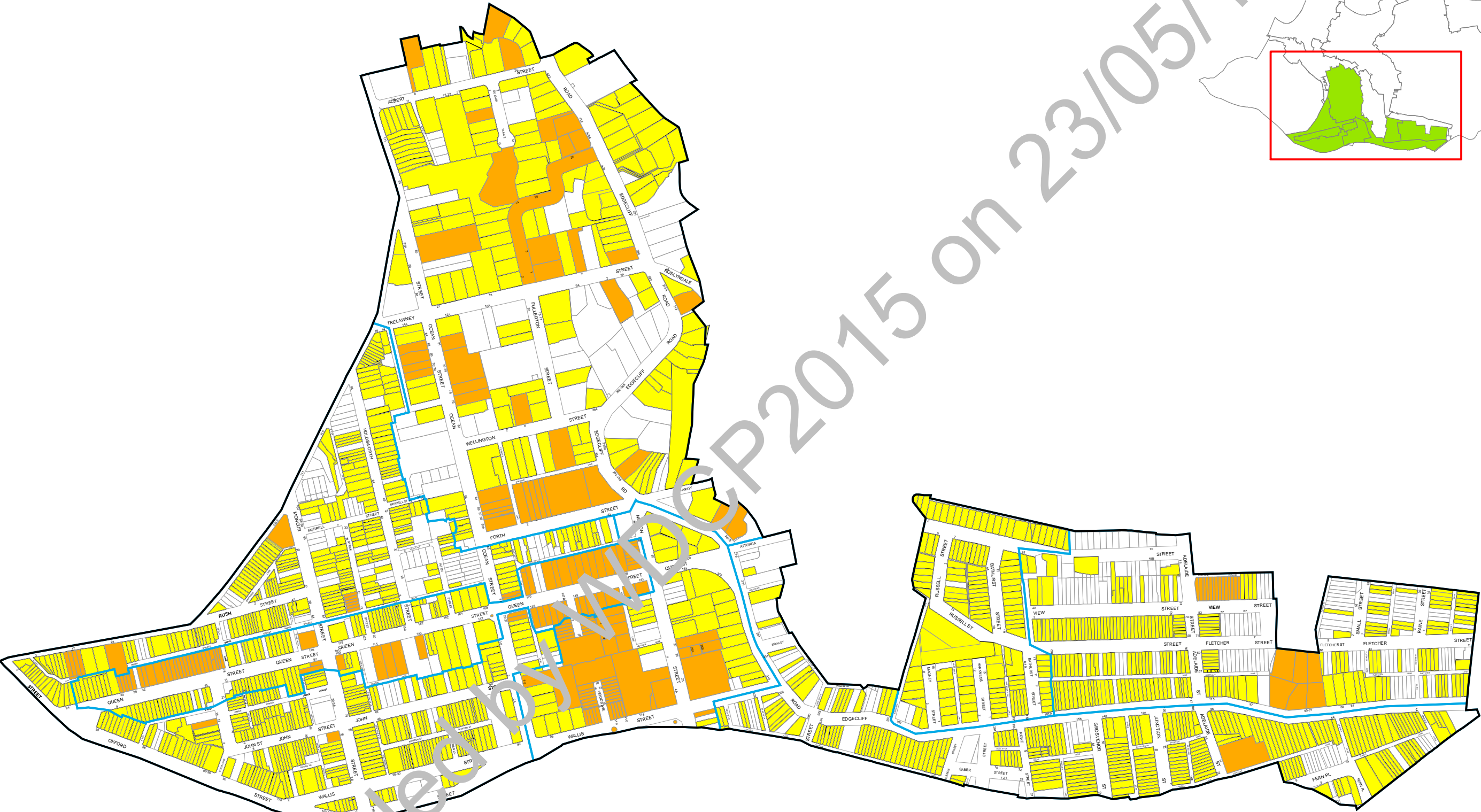
### Key



## Appendix D

### Woollahra Heritage Conservation Area

1:6,000



Legend

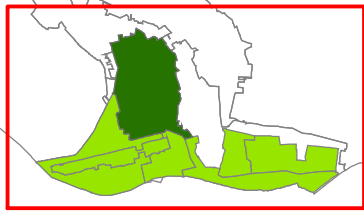
- Woollahra Heritage Conservation Area
- Property Boundaries
- Heritage Items
- Contributory Items
- Precinct Boundaries

Appendix E

Significant Items

1:6,000

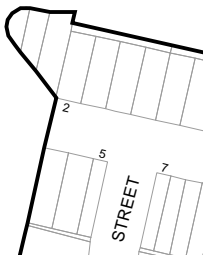
Key

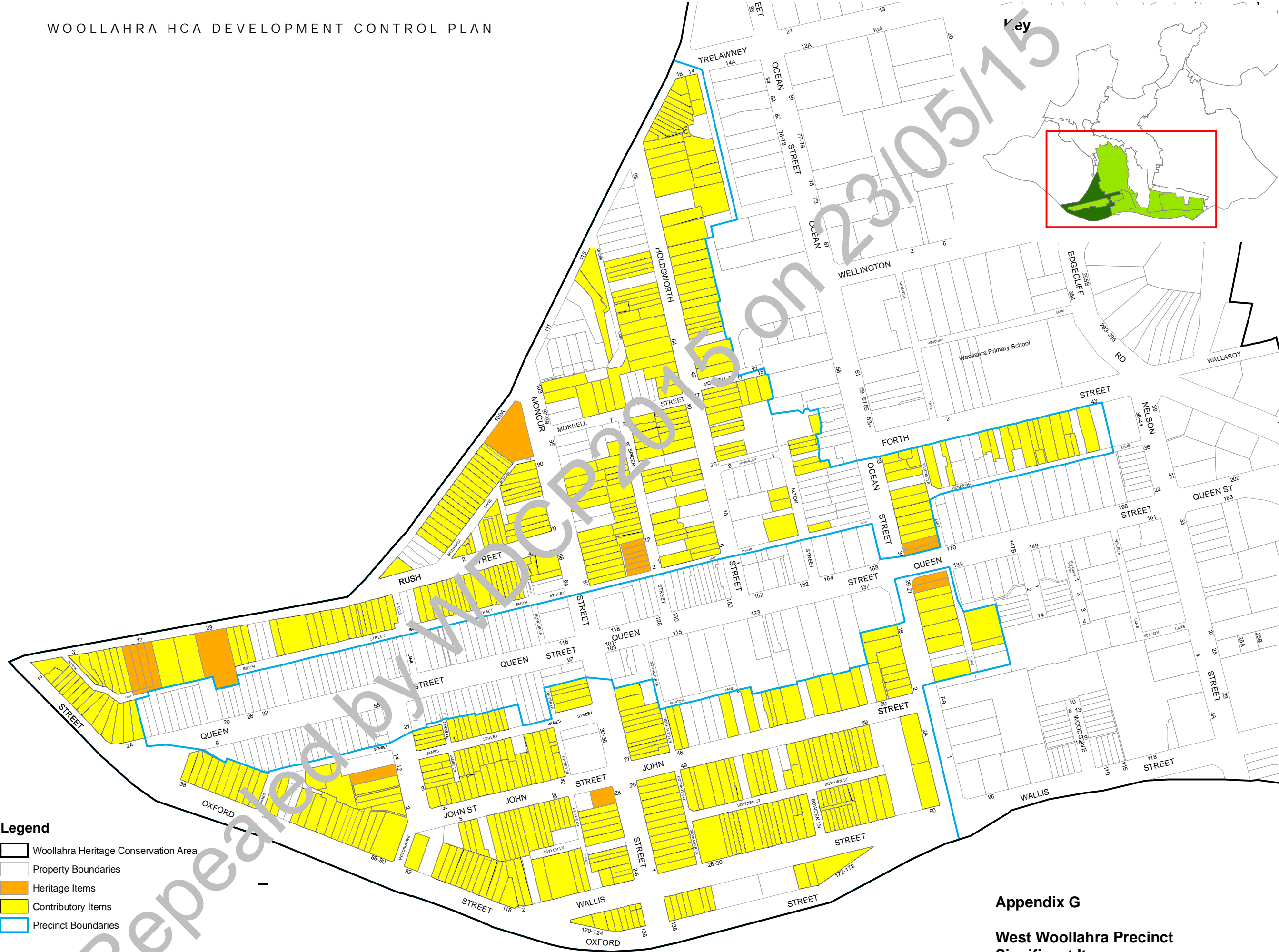


Legend

- Woollahra Heritage Conservation Area
- Property Boundaries
- Heritage Items
- Contributory Items
- Precinct Boundaries

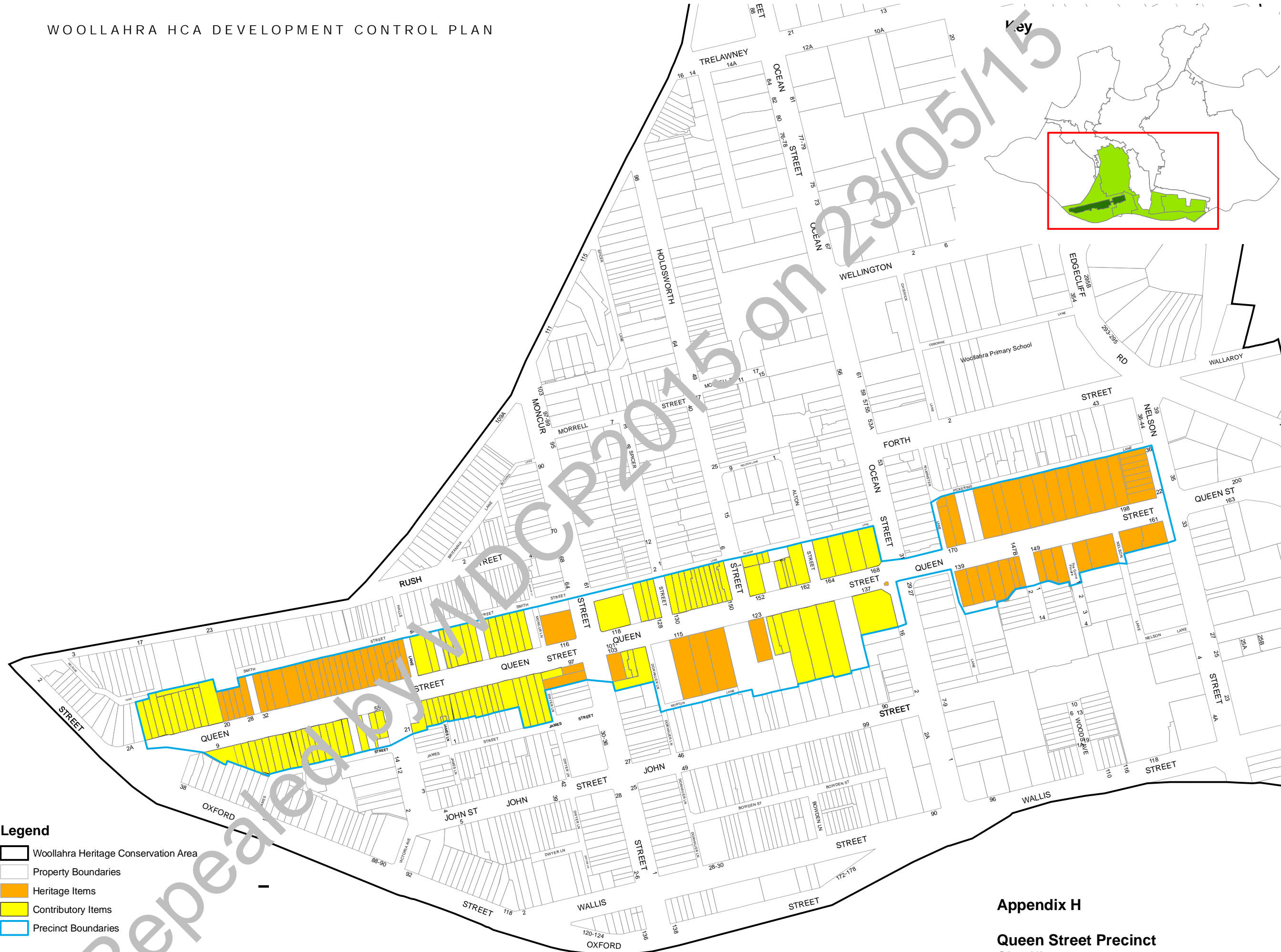
Appendix F  
Rosemont Precinct  
Significant Items  
Scale 1:3,000





Appendix G

West Woollahra Precinct  
Significant Items  
Scale 1:3,000



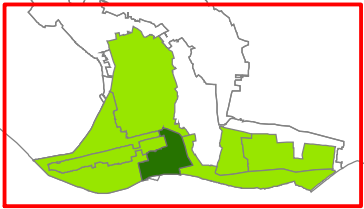
- Legend**
- Woollahra Heritage Conservation Area
  - Property Boundaries
  - Heritage Items
  - Contributory Items
  - Precinct Boundaries

**Appendix H**

**Queen Street Precinct  
Significant Items**  
Scale 1:3,000

WOOLLAHRA HCA DEVELOPMENT CONTROL PLAN

Key



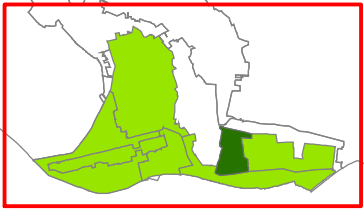
Legend

- Woollahra Heritage Conservation Area
- Property Boundaries
- Heritage Items
- Contributory Items
- Precinct Boundaries

Appendix I

Nelson Precinct  
Significant Items

Scale 1:3,000



Legend

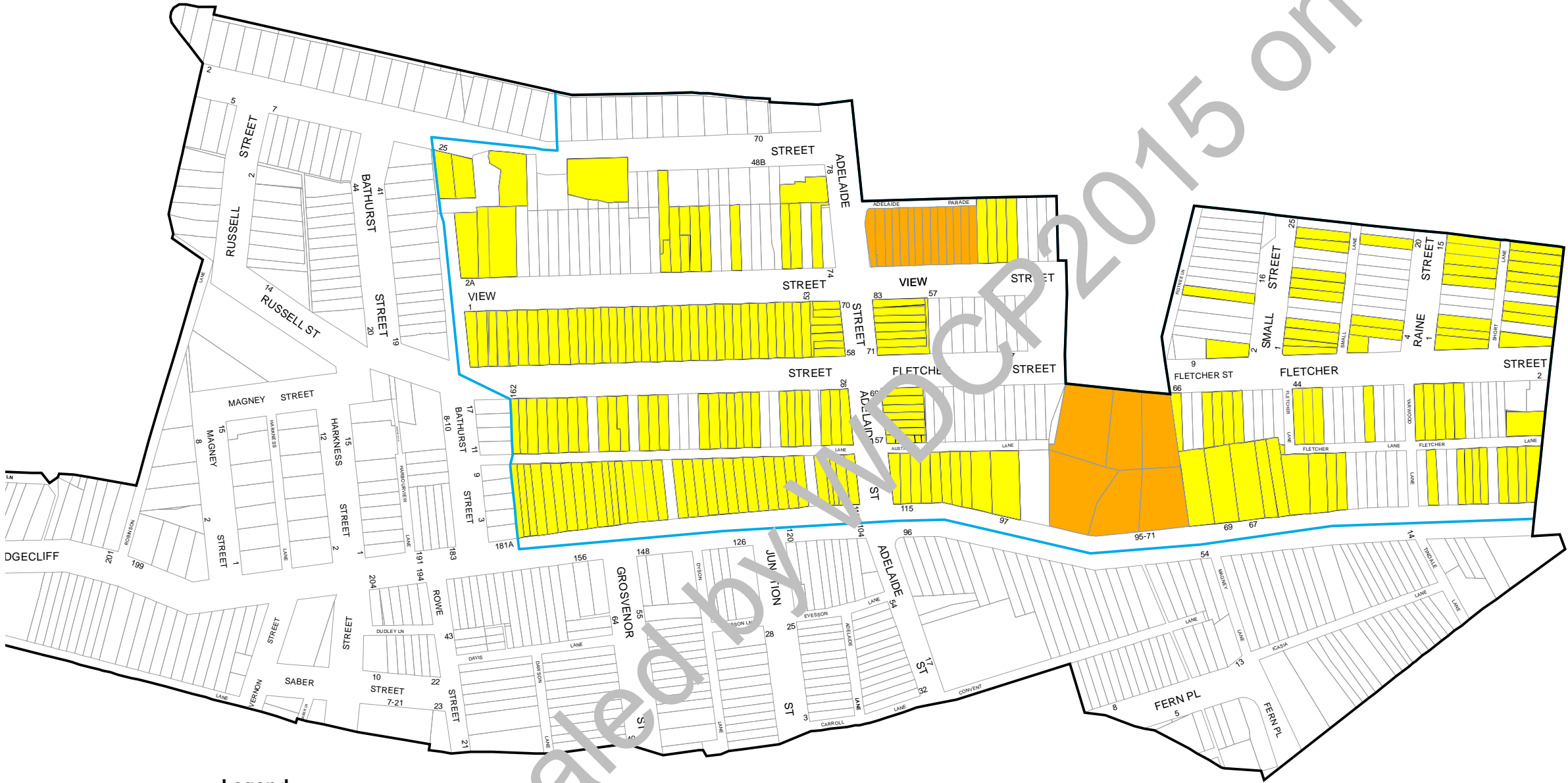
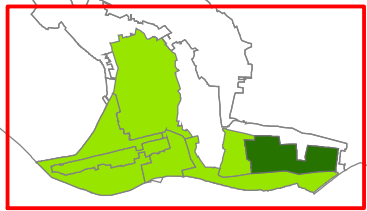
- Woollahra Heritage Conservation Area
- Property Boundaries
- Heritage Items
- Contributory Items
- Precinct Boundary

Appendix J

Harbour View Precinct  
Significant Items

Scale 1:3,000

Key



Legend

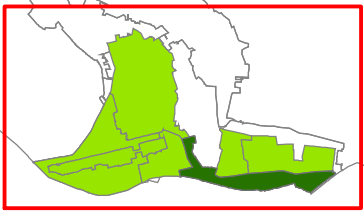
- Woollahra Heritage Conservation Area
- Property Boundaries
- Heritage Items
- Contributory Items
- Precinct Boundaries

Appendix K

Fletcher Precinct  
Significant Items

Scale 1:3,000

Key



- Legend**
- Woollahra Heritage Conservation Area
  - Property Boundaries
  - Heritage Items
  - Contributory Items
  - Precinct Boundaries

Appendix L

Grafton Precinct  
Significant Items

Scale 1:3,000

**Table of Amendments – Woollahra Heritage Conservation Area Development Control Plan 2003**

<b>Amendment No.</b>	<b>Amendment type</b>	<b>Dates of approval and commencement</b>	<b>Description of amendment</b>
1	By resolution of Council ( <i>clause 22 Environmental Planning and Assessment Regulation 2000</i> ).	a: 27 March 2006 c: 5 April 2006	<ul style="list-style-type: none"><li>▪ Amends schedule of significant items by including No. 76 Old South Head Road, Woollahra, as a contributory item in the Grafton precinct; and</li><li>▪ Alterations to maps comprising Appendix E and Appendix L that reflect the inclusion of No. 76 Old South Head Road as a contributory item.</li></ul>
2	By resolution of Council ( <i>clause 22 Environmental Planning and Assessment Regulation 2000</i> ).	a: 26 November 2012 c: 12 December 2012	<ul style="list-style-type: none"><li>▪ Amends the existing objectives and controls for lofts over garages to further clarify the appropriate locations, design and details of proposed lofts over garages to rear boundary laneways; and</li><li>▪ Provides additional definitions and diagrams to support the amended objectives and controls</li></ul>

**Note:** This Table of Amendments does not form part of the approved *Woollahra Heritage Conservation Area Development Control Plan 2003* and is provided to assist with interpretation.