

Chapter B2 Neighbourhood HCAs

Part B ► General Residential

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Repealed by WDCP 2015 Amendment No. 19 on 6 December 2021

Chapter B2 ► Neighbourhood HCAs

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Repealed by WDCP 2015 Amendment No. 19 on 6 December 2021

B2.1 Introduction

This is Chapter B2 of the Woollahra Development Control Plan 2015 (DCP), Part B General Residential.

This chapter contains controls for 11 heritage conservation areas (HCAs), referred to as “neighbourhood HCAs” to distinguish these areas from the larger HCAs of Paddington, Woollahra and Watsons Bay.

These HCAs are identified in Schedule 5 of Woollahra Local Environmental Plan 2014 (Woollahra LEP 2014), recognised as having a particular cultural significance based on their aesthetic, historic, scientific and/or social values. Some of the individual buildings and sites within these HCAs are heritage items, however all other buildings (except for intrusive buildings) are contributory items as they make a positive contribution to the character of the area.

These are areas in which the cultural significance and relationships between the various characteristics creates a sense of place that is worth conserving. The cultural significance is embodied in the subdivision pattern, building materials, styles, forms, details and arrangements of the heritage items, buildings and streetscape elements of the HCAs. Together these elements create a shared history, historic character, sense of place, and shared aesthetic or visual presence that has been identified as of particular value to the community.

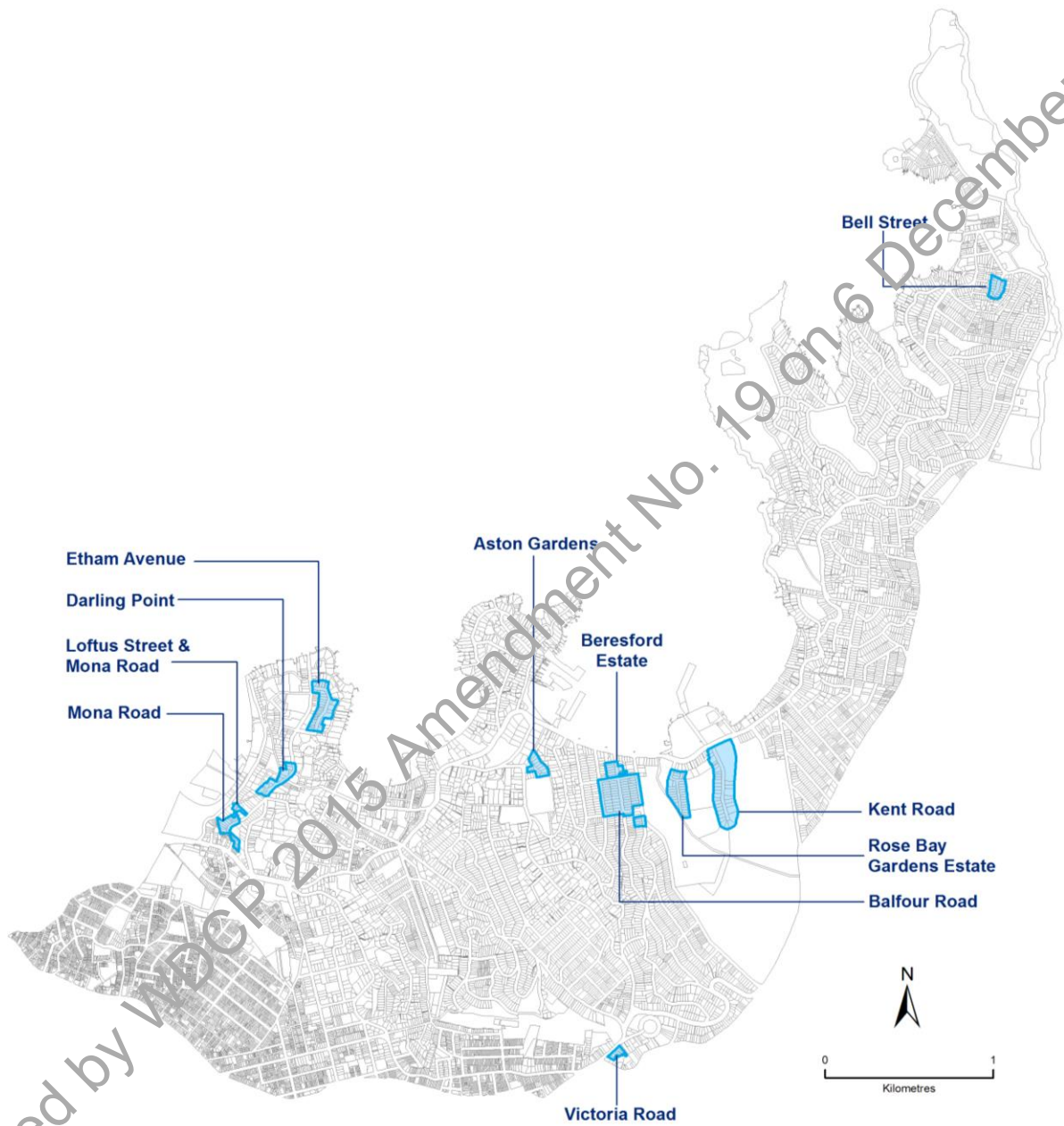
These HCAs have been identified following studies and assessments by Council, including documentary investigation and fieldwork surveys. Specific elements of significance are identified in each conservation area. The periods and styles of the buildings within the neighbourhood HCAs include Late Victorian cottages, Federation Arts and Crafts dwellings, Federation Queen Anne dwellings, Federation Bungalows, and Inter-War flat buildings in the Art Deco, Spanish Mission, Georgian Revival and Functionalist styles.

B2.1.1 Land where this chapter applies

This chapter applies to the following neighbourhood HCAs:

- Etham Avenue, Darling Point
- Darling Point Road, Darling Point
- Mona Road, Darling Point
- Loftus Road and Mona Road, Darling Point
- Aston Gardens, Bellevue Hill
- Victoria Road, Bellevue Hill
- Balfour Road, Rose Bay
- Beresford Estate, Rose Bay
- Rose Bay Gardens Estate, Rose Bay
- Kent Road, Rose Bay
- Bell Street, Vaucluse

These neighbourhood HCAs are identified on map below. A separate map of each HCA is also provided in the relevant sections of this chapter.



B2.1.2 Development to which this chapter applies

This chapter applies to development that requires development consent.

Generally this will be residential development, but may include other permitted uses such as child care centres, community facilities, educational establishments, neighbourhood shops and places of public worship, and other uses permitted in Woollahra LEP 2014.

B2.1.3 Objectives

The objectives of this chapter are:

- 01 To retain the cultural or heritage significance of the HCAs, including their cohesive character and distinctive historic features.
- 02 To retain and promote evidence of the historical development and cultural significance of the neighbourhood HCAs and enable the interpretation of that development.
- 03 To encourage the ongoing conservation of heritage items and the significant elements of contributory items.
- 04 To ensure that development is sympathetic to the heritage significance of buildings, their settings, the streetscape and the broader HCA.

This chapter seeks to ensure that development has regard to the heritage significance of the area and is compatible with the desired future character for the neighbourhood HCA. The objectives in this chapter apply in addition to the objectives in Chapter B3 General Development Controls.

Note: The term 'original' as used throughout the DCP refers to any significant fabric. This may be from a range of historic periods.

B2.1.4 Relationship to other parts of the DCP

This chapter is to be read in conjunction with the other parts of the DCP that are relevant to the development proposal, including:

- Chapter B1 Residential precincts.
- Chapter B3 General Development Controls.
- Part E: General Controls for All Development - this part contains chapters on Parking and Access, Stormwater and Flood Risk Management, Tree Management, Contaminated Land, Waste Management, Sustainability, Signage and Adaptable Housing.
- Part F: Land Use Specific Controls - this part contains chapters on Child Care Centres, Educational Establishments, Licensed Premises and Telecommunications.

B2.1.5 How to use this chapter

The primary controls for the neighbourhood HCAs are set out in two chapters:

- ▶ Chapter B2 Neighbourhood HCAs; and
- ▶ Chapter B3 General Development Controls.

Chapter B2 Neighbourhood HCAs

Each section in this chapter represents an HCA. Applicants only need to refer to the particular area that is relevant to their site.

The controls for each HCA comprise the following elements:

- ▶ map showing the extent of the HCA;
- ▶ statement of significance providing a brief description of the heritage significance and architectural character of the HCA; and
- ▶ desired future character, including a table of objectives and controls. The desired future character describes the outcomes that are required to be achieved through development within the precinct. Applicants need to demonstrate how their development fulfills the relevant objectives having particular regard to the objectives and controls.

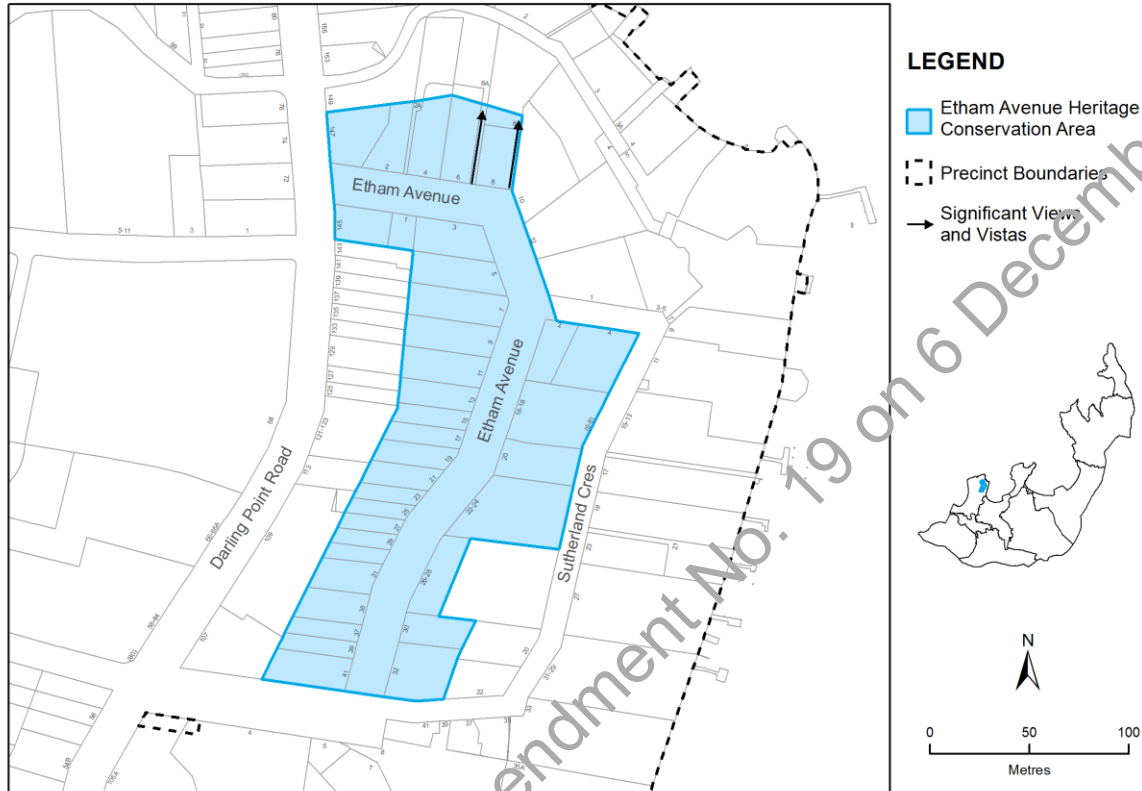
Chapter B3 General Development Controls

The general controls in Chapter B3 apply to all land where Chapter B2 applies.

Development is required to fulfil the relevant requirements of all the general controls. Unless otherwise indicated, where there is a disparity between the objectives and controls in Chapters B2 and B3, the HCA specific objectives and controls in this chapter take precedence over the general controls.

B2.2 Etham Avenue, Darling Point

MAP 1 Etham Avenue heritage conservation area



Statement of significance

The Etham Avenue HCA is located within the Darling Point residential precinct and is characterised by high quality Federation residences of varying styles.

The Etham Avenue HCA provides a physical record of a significant historical phase in the urban subdivision of Darling Point. The historical subdivision pattern reflects the staged subdivision of the Etham Estate, dating from 1900 and a subsequent re-subdivision after the demolition of the Mansion circa 1920. There are distinct groups of buildings that provide physical evidence of the evolutionary development of the area when more compact residences were being designed with distinctly less accommodation for servants.

Etham Avenue has the distinctive character and layout of a compact early 20th century 'Garden Suburb', a movement based on the urban planning principles of Sir Ebenezer Howard. The streetscape has a high aesthetic value which is enhanced by the serpentine layout of the road along the contour, which creates closed vistas that focus on small cohesive groups of houses. The winding road provides a more complex view of the housing and is typical of the movement. The constant width of the road with its grass nature strip and avenue plantings contributes to the quality of streetscape. It retains sandstone remnants of the Etham Mansion in the form of its gate and fence pillars.

The entry points to Etham Avenue are defined by substantial corner residences providing a strong sense of arrival. The circa 1900 suburban subdivision pattern is largely intact and most of the housing derives from this period with characteristic stylistic details that make an important contribution to the HCA.

The housing displays the quality and distinction of a wide range of Federation styles from the excellent highly intact Federation Queen Anne housing at the southern end, to the English Arts and Craft styles and the American-influenced Federation Bungalow style at the northern end.

The consistency of the dominant roof forms and stylistic elements such as verandahs, porches, bay windows, chimneys, semi-transparent front fencing and front gardens without terracing contributes to the strong streetscape qualities and create an aesthetically pleasing character.

Desired future character

- To retain the key values of the Etham Avenue HCA including the historic subdivision pattern, the significant street trees, housing, gardens and fences that demonstrate the wide range of Federation styles which contribute to the strong streetscape qualities.

Note:

- The Etham Avenue HCA is located within the Darling Point precinct. The precinct character statement for the Darling Point precinct in Chapter B1 in this part of the DCP is to be read in conjunction with the controls below.
- The controls below apply in addition to the general development controls in Chapter B3 in this part of the DCP. Where there is an inconsistency, the controls below take precedence.

B2.2 Etham Avenue, Darling Point			
Objectives		Controls	
O1	To ensure that the significant fabric of contributory items is retained.	C1	Original principal roof forms, including roof pitch, eaves height and chimneys, are retained.
		C2	No alteration to the original details, materials or finishes of the principal form, except to allow for restoration or reconstruction.
		C3	Original verandahs are not in-filled. Where verandahs have been in-filled, uncharacteristic additions are removed and the verandahs reinstated.
		C4	Original room layouts and proportions are retained.
		C5	Original internal features are retained wherever possible, including (but not limited to) staircases, joinery, fireplaces and ceilings.

B2.2 Etham Avenue, Darling Point

Objectives		Controls	
O2	To conserve the established garden settings, including original elements and features.	C6	Established garden settings are retained, including, but not limited to, mature trees, original and early pathways, gates and front fencing particularly forward of the building line.
O3	To ensure that fences and parking do not detract from the streetscape and heritage significance.	C7	Car parking is set back behind the front building line.
		C8	Fences are appropriate to the building style and period. Front fences are generally made from masonry materials with steel balustrading (25% transparent), and a maximum height of 1.5m. Pillars may extend to a maximum height of 1.8m.
O4	To conserve the principal elevation of the original buildings.	C9	Additions may be located at the rear or within the principal roof form, provided no alterations including dormers and skylights, compromise the significant roof forms.
O5	To ensure that the architectural character of buildings is not compromised.	C10	Additions at the side of a residential building may be permitted if set behind the main ridgeline of the existing building, and the additions: <ul style="list-style-type: none"> a) do not visually dominate the existing building. For example, are set down at least 300mm from the existing ridgeline; and b) are designed to be sympathetic and complementary to the original building.

B2.2 Etham Avenue, Darling Point**Objectives****Controls**

O6 To ensure that development does not impact on the significance of heritage items and the heritage conservation area.

O7 To ensure that development is compatible with the scale and rhythm of the streetscape.

C11 Development is a maximum of two storeys at the street elevation.

C12 Roof forms, scale and character are consistent with the scale and character of the group.

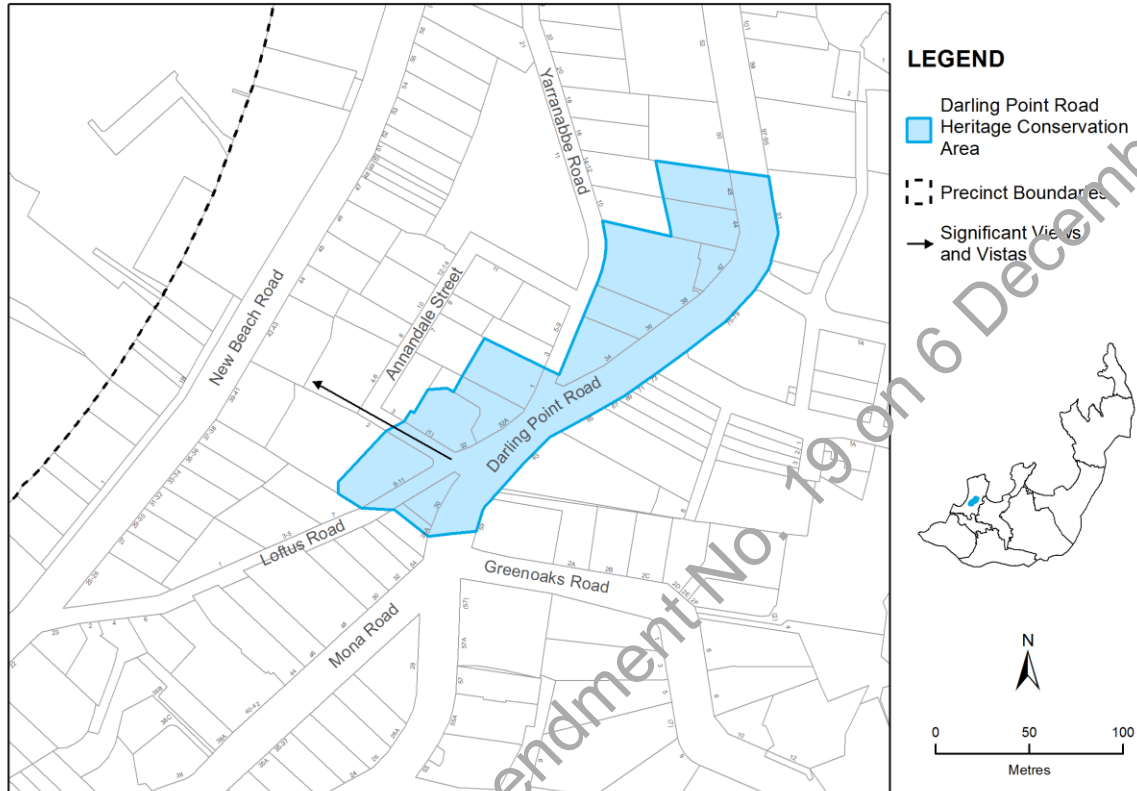
C13 Existing front and rear setbacks are retained.

C14 New development is consistent with the setbacks of adjoining dwellings.

C15 Subdivision or amalgamation will only be permitted if the resulting development is a form that reflects the character of the conservation area and does not require the demolition of a heritage item or contributory item or compromise their setting.

B2.3 Darling Point Road, Darling Point

MAP 2 Darling Point Road heritage conservation area, Darling Point



Statement of significance

The Darling Point Road HCA is located within the Darling Point residential precinct and comprises a cohesive group of substantial late 19th and early 20th century houses in the Federation Gothic and Federation Arts and Crafts styles.

The conservation area makes an important contribution to the identity of Darling Point with its prominent steeply pitched roofscapes and mature garden settings with traditional fences.

Darling Point Road, as the main thoroughfare since the layout of Mrs Darling's Point in 1833, winds along the ridge through the township towards the harbour. This central location is historically associated with the influential members of colonial society and the establishment of the Anglican Church of St Marks during the mid-19th century.

The earlier stage of more intense residential development at Darling Point is represented by the large and architecturally distinctive Gothic houses adjacent to the St Marks Church precinct.

Examples include:

- ▶ *Cloncorrick* at No. 32 Darling Point Road, which was designed by the notable architect John Horbury Hunt for the Honourable George Simpson; and
- ▶ *St Canice* at 9 Loftus Road, which was designed for the Honourable Edward Butler.

The second significant phase of development was associated with the 1907 Springfield Estate subdivision. Examples include the substantial houses at Nos. 42, 44-46 and 48 Darling Point Road which are representative of the Federation Arts and Crafts style in a distinct derivation that uses face brickwork that is rare in the Woollahra Municipality.

Their siting as a group on the winding Darling Point Road following the contours and their honest use of local materials reflects the principles of the Garden Suburb movement:

- ▶ The house at No. 42 is a substantial intact house, designed in the restrained English Queen Anne style with Arts and Crafts influences. It has a stepped plan, face brickwork and multi-gabled roof which address both the southern and eastern approaches.
- ▶ The pair of semi-detached dwellings at Nos. 44 and 46 is skillfully designed to read as a single house in the Federation Arts and Craft style. They feature characteristic elements of tall tapered roughcast chimney, large face brick arches, intersecting gables and tapering columns with restrained timberwork.
- ▶ *Leamington*, the house at No. 48 is a relatively rare example of the Federation Arts and Craft movement in Sydney. It retains a high level of external intactness and integrity of its original Australian design in face brickwork rather than being covered in roughcast. It responds to the local climate by incorporating side verandahs and wider eaves.

Desired future character

- ▶ To retain the key values of the Darling Point Road HCA including the substantial housing, gardens and fences that are representative examples of the Federation Arts and Crafts movement and the Victorian Gothic residences that contribute to the streetscape of Darling Point Road.

Note:

- ▶ The Darling Point Road HCA is located within the Darling Point precinct. The precinct character statement for the Darling Point precinct in Chapter B1 in this part of the DCP is to be read in conjunction with the controls below.
- ▶ The controls below apply in addition to the general development controls in Chapter B3 in this part of the DCP. Where there is an inconsistency, the controls below take precedence.

B2.3 Darling Point Road, Darling Point

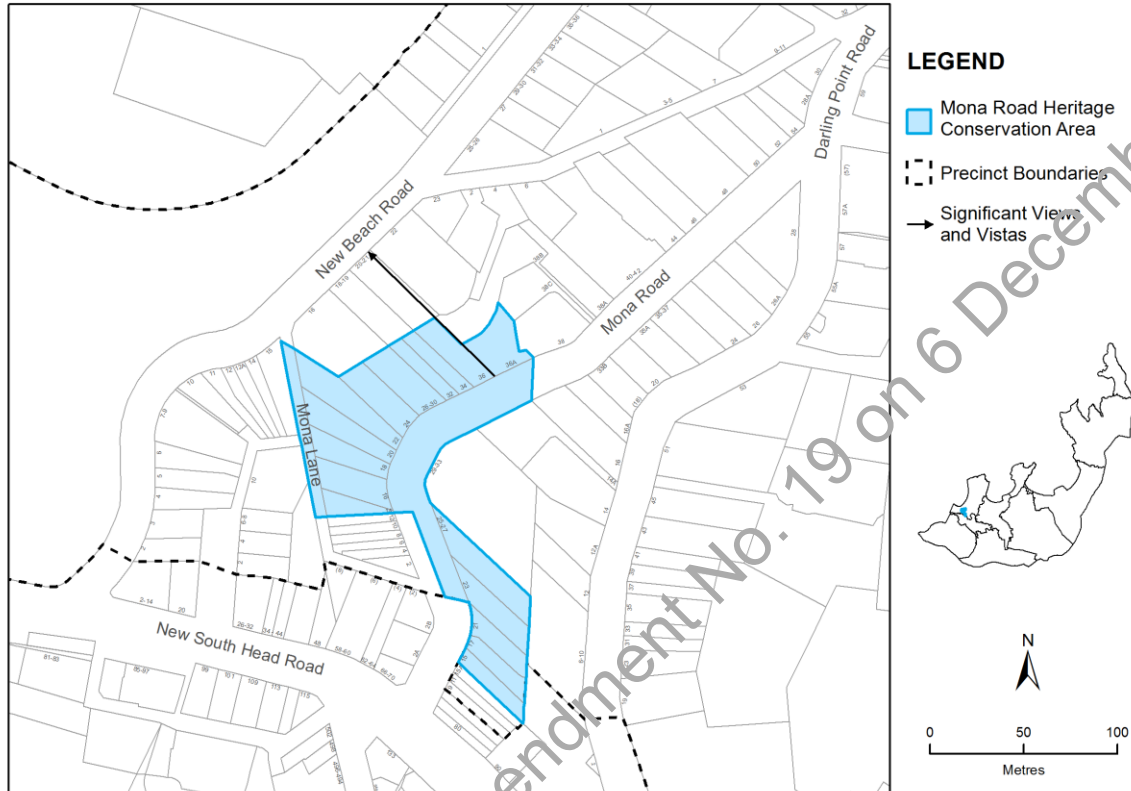
Objectives		Controls	
O1	To ensure that the significant fabric of heritage items and contributory items is retained.	C1	Original principal roof forms, including roof pitch, eaves height and chimneys, are retained.
		C2	No alteration to the original details, materials or finishes of the principal form, except to allow for restoration or reconstruction.
		C3	Original verandahs are not in-filled. Where verandahs have been in-filled, uncharacteristic additions are removed.
		C4	Original room layouts and proportions are retained.
		C5	Original internal features are retained wherever possible, including (but not limited to) staircases, joinery, fireplaces and ceilings.
O2	To conserve the established garden settings, including original elements and features.	C6	Established garden settings are retained, including mature trees, original and early pathways, gates and front fencing particularly forward of the building line.
O3	To ensure that fences and parking do not detract from the streetscape and heritage significance.	C7	Car parking is set back behind the front building line.
		C8	Fencing is appropriate to the style and period of the building. Front fences should generally be made from masonry materials with steel balustrading (25% transparent), and a maximum height of 1.5m. Pillars may extend to a maximum height of 1.8m.

B2.3 Darling Point Road, Darling Point**Objectives****Controls**

O4	To conserve the principal elevation of the original buildings.	C9	Additions may be located at the rear or within the principal roof form, provided no alterations including dormers and skylights compromise significant roof forms.
O5	To ensure that the architectural character of buildings is not compromised.	C10	Additions at the side of a residential building may be permitted if set behind the main ridgeline of the existing building, and the additions: <ul style="list-style-type: none"> a) do not visually dominate the existing building . For example, are set down at least 300mm from the existing ridgeline, and b) are designed to be sympathetic and complementary to the original building.
O6	To ensure that development does not affect the significance of heritage items and the heritage conservation area.	C11	Development is a maximum two storeys at the street elevation.
O7	To ensure that development is compatible with the scale and rhythm of the streetscape.	C12	Roof forms, scale and character are consistent with the scale and character of the group.
		C13	Existing front and rear setbacks are retained.
		C14	New development is consistent with the setbacks of adjoining dwellings.
		C15	Subdivision or amalgamation will only be permitted if the resulting development is a form that reflects the character of the conservation area and does not require the demolition of a heritage item or contributory item or compromise their setting.

B2.4 Mona Road, Darling Point

MAP 3 Mona Road heritage conservation area



Statement of significance

The Mona Road HCA is located within the Darling Point residential precinct and comprises dwelling houses, semi detached houses and apartments that demonstrate the important characteristics of the Federation Arts and Crafts and Federation Queen Anne styles.

This HCA contains a cohesive group of substantial but speculative housing built within the first decade of the 20th century on part of the Mona Estate that demonstrates the more intense residential development pattern of Darling Point. Some of the dwellings were subsequently converted to duplexes or triplexes in the 1920s without changing their form or altering their integrity.

The winding alignment of Mona Road through the steep topography results in extensive rusticated ashlar or brick retaining walls which, together with the mature Hill's Weeping Fig street trees form a distinctive streetscape with cohesive groups of buildings on each side of Mona Road which are orientated towards the harbour view.

On the western side of the street, the buildings are characterised by the rhythmic tiled roofscapes of Federation dwellings and semi-detached dwellings designed to read as single houses, albeit partially obscured by car parking.

Examples include:

- ▶ The houses at Nos. 14- 16 are adjoining two-storey red brick houses in the Federation Queen Anne style with rusticated sandstone foundation walls and terracotta tiled roofs.
- ▶ The houses at Nos. 18-22 are substantial adjoining identical houses designed in the Federation Queen Anne style with face brick, rusticated sandstone foundation walls and slate roofs. Together with Nos. 14 and 16, the sandstone retaining wall to Mona Lane continues the characteristic relationship of the building with the landforms.
- ▶ No. 36a is a landmark face brick building in the Federation Queen Anne 'Old English' style at the northern end of the group, adjacent to *Mona*.

The houses are orientated towards the harbour and were designed to be accessed from Rushcutters Park via Mona Lane, rather than Mona Road. Significant views of the major elevations of the group are available from Mona Lane, New Beach Road and Rushcutters Bay Park.

On the eastern side of the street, examples include:

- ▶ Nos. 15-17 which comprise elevated dwellings and semi-detached dwellings that are fine red brick examples of the Federation Queen Anne style with bow windows, prominent gable ends, decorative fretwork balustrades and tiled with Marseille pattern terracotta tile.
- ▶ No. 27 which is a three-storey Federation Arts and Crafts styled apartment building in an elevated setting that demonstrates a strong massing with heavy articulation of its roughcast and face brick elevations with restrained decoration and weatherboard balustrading.

Desired future character

- ▶ To retain the key values of the Mona Road HCA including the historic subdivision pattern, the street trees, the group of Federation Arts and Craft and Queen Anne housing that contribute to the cohesive streetscape of Mona Road.

Note:

- ▶ The Mona Road HCA is located within the Darling Point precinct. The precinct character statement in Chapter B1 in this part of the DCP is to be read in conjunction with the controls below.
- ▶ The controls below apply in addition to the general development controls in Chapter B3 in this part of the DCP. Where there is an inconsistency, the controls below take precedence.

B2.4 Mona Road, Darling Point

Objectives

Controls

O1 To ensure that the significant fabric of heritage items and contributory items is retained.

- C1 Original principal roof forms, including roof pitch, eaves height and chimneys, are retained.
- C2 No alteration to the original details, materials or finishes of the principal form, except to allow for restoration or reconstruction.
- C3 Original verandahs are not in-filled. Where verandahs have been in-filled, uncharacteristic additions are removed.
- C4 Original room layouts and proportions are retained.
- C5 Original internal features are retained wherever possible, including (but not limited to) staircases, joinery, fireplaces and ceilings.

O2 To conserve the established garden settings, including original elements and features.

- C6 Established garden settings are retained, including mature trees, original and early pathways, gates and front fencing particularly forward of the building line.

O3 To ensure that fences and parking do not detract from the streetscape and heritage significance.

- C7 Sandstone and brick retaining walls are not to be breached by additional openings.
- C8 Car parking is set back behind the front building line.
- C9 Fencing is appropriate to the style and period of the building. Front fences should generally be made from masonry materials with steel balustrading (25% transparent), and a maximum height of 1.5m. Pillars may extend to a maximum height of 1.8m.

B2.4 Mona Road, Darling Point**Objectives****Controls**

O4 To conserve the principal elevations of the original buildings.

O5 To ensure that the architectural character of buildings is not compromised.

C10 Additions may be located at the rear or in the principal roof form, provided no alterations including dormers and skylights, compromise the significant roof forms.

C11 Additions at the side of a residential building may be permitted if set behind the main ridgeline of the existing building, and the additions:

- a) do not visually dominate the existing building. For example, are set down at least 300mm from the existing ridgeline, and
- b) are designed to be sympathetic and complementary to the original building.

O6 To ensure that development does not affect the significance of heritage items and the heritage conservation area.

O7 To ensure that development is compatible with the scale and rhythm of the streetscape.

C12 Development is to be a maximum of two storeys at the street elevation.

C13 Roof forms, scale and character are to be consistent with the scale and character of the group.

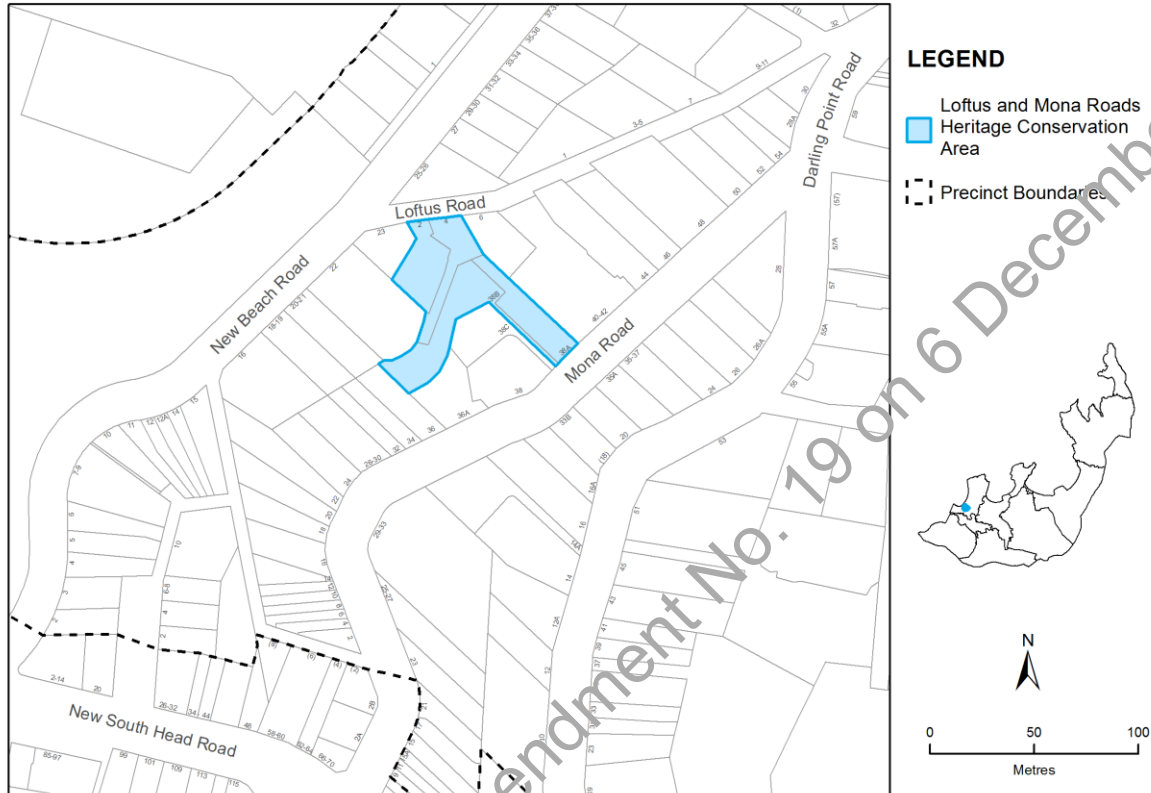
C14 Existing front and rear setbacks are retained

C15 New development is consistent with the setbacks of adjoining dwellings.

C16 Subdivision or amalgamation will only be permitted if the resulting development is a form that reflects the character of the conservation area and does not require the demolition of a heritage item or contributory item or compromise their setting.

B2.5 Loftus Road and Mona Road, Darling Point

MAP 4 Loftus Road and Mona Road heritage conservation area



Statement of significance

The Loftus Road and Mona Road HCA is a group of four residential flat buildings of similar scale, bulk, design and materials, located at 2 and 4 Loftus Road and 38a and 38b Mona Road. These were built on steep land subdivided from the grounds of the Victorian Regency styled house Mona, which has been converted to flats, and visually forms part of the group.

The Loftus Road and Mona Road group is a significant group of Inter-War flat buildings which appear as a cohesive and substantial presence on the slopes of Darling Point. The area is significant in demonstrating the trend towards closer subdivision and development of fashionable flats in Darling Point during the 1920s and 1930s as a response to the changing planning regulations.

Each building was designed by prominent architectural firms of the time, Peddle Thorpe & Walker and Crane & Scott, in the Inter-War Mediterranean style. Each of the buildings contain architectural features which are highly representative of the Inter-War Mediterranean style such as timber shutters, Marseille tiled roofs, Juliet balconies and arched openings.

The flats are generously sized and some originally included maid's rooms within the lower levels. The group is unusually intact and has retained the garden terraces with Inter-War plantings and substantial sandstone retaining walls from earlier estates.

In more detail:

- ▶ *Brailsford* at 38a Mona Road is a three storey apartment building built in the Inter-War Mediterranean-style circa 1927. It is characterised by Mediterranean elements such as Marseille tiles, timber shutters, blind arches, circular arches and columns, and a paved courtyard.
- ▶ *Burford House* at 38b Mona Road is a small elevated three storey apartment building in the Inter-War Mediterranean style circa 1934. The building has a staggered 'sawtooth' plan form, deep balconies with columns and arched openings, and timber shutters and wrought iron balustrades.
- ▶ 2 Loftus Road is a two storey Inter-War Mediterranean apartment building circa 1939. It has a central entrance hall with a Juliet balcony and French doors over, between the two apartment wings. It has Marseille tiles and restrained detailing, including blind arches and mock Juliet balconies.
- ▶ *St Martin's* at 4 Loftus Road is a large imposing Inter-War Mediterranean style three storey apartment building. It has simplified classical detailing in the Mediterranean style, with a terracotta tiled roof with a band of medallions beneath, timber shutters, and a parapet with a deep entablature featuring medallions.

Desired future character

- ▶ To conserve the cohesive character of the Inter-War flat buildings in the Loftus Road and Mona Road HCA, including the garden terraces, landscape plantings and substantial sandstone retaining walls.

Note:

- ▶ The Loftus Road and Mona Road HCA is located within the Darling Point precinct. The precinct character statement for the Darling Point precinct in Chapter B1 in this part of the DCP is to be read in conjunction with the controls below.
- ▶ The controls below apply in addition to the general development controls in Chapter B3 in this part of the DCP; this includes controls for Inter-War flat buildings (Chapter B3 Section 3.8.7). Where there is an inconsistency, the controls below take precedence.

B2.5 Loftus Road and Mona Road, Darling Point			
Objectives		Controls	
O1	To ensure that the significant characteristics of Inter-War flat buildings are retained and protected.	C1	Original fabric, finishes and architectural features representative of the Inter-War Mediterranean style are retained, including:
O2	To conserve the principal elevation of the heritage items and contributory items.		a) timber shutters b) Marseille tiled roofs; c) Juliet balconies; and d) arched openings.

B2.5 Loftus Road and Mona Road, Darling Point

Objectives

O3 To conserve the established garden settings, including original elements and features.

Controls

C4 Established garden settings are retained, including the garden terraces, landscape plantings and sandstone retaining walls.

Repealed by WDCP 2015 Amendment No. 19 on 6 December 2021

B2.6 Aston Gardens, Bellevue Hill

MAP 5 Aston Gardens heritage conservation area



Statement of significance

The Aston Gardens HCA is an outstanding group of significant Inter-War flat buildings designed by prominent architects that remain largely intact. The subdivision pattern of the street dates from 1927 and also remains largely intact. The garden settings are also mostly intact.

Aston Gardens is rare in that nearly every architectural style of the Inter-War period is represented in the one street. Many of the flats are large and many originally included servant's quarters. The area is significant in demonstrating the move away from large freestanding houses to modern and fashionable flats during the Inter-War period and the changing planning regulations increasing the density of the inner suburbs of Sydney.

The Inter-War flat buildings are 2 to 4 storeys in height, in Spanish Mission, Georgian Revival and Art Deco styles in a landscaped garden setting. The intact subdivision occupies the north-east facing slope that falls steeply away from Victoria Road. The buildings are constructed of face brick or rendered brick with generally timber double hung windows (some with timber shutters) and generally hipped and gabled roof forms with terra cotta roof tiles. The facades feature decorative render/plasterwork, and/or brick detailing. There are limited view corridors to Rose Bay between the buildings and most of the garaging is accessed from the rear lane.

Desired future character

- To conserve the significant character elements of the Aston Gardens HCA, particularly the buildings, their settings and street presentation.

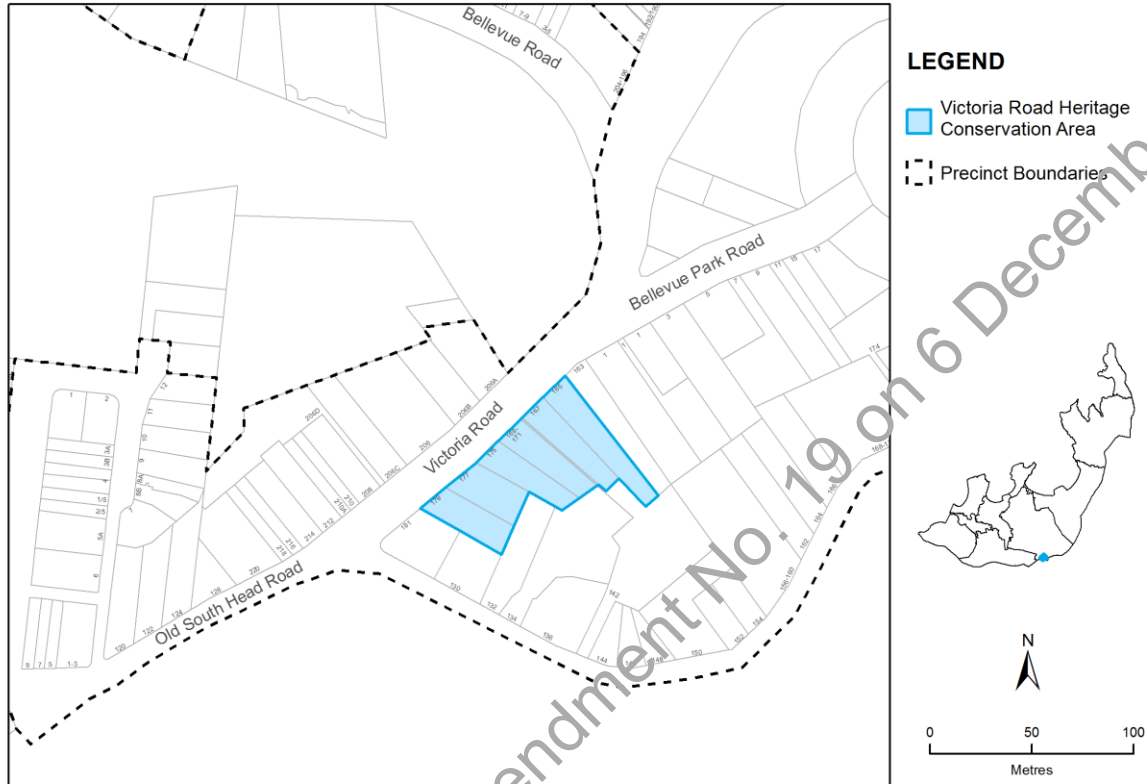
Note:

- The Aston Gardens HCA is located within the Bellevue Hill North precinct. The precinct character statement for the Bellevue Hill North precinct in Chapter B1 in this part of the DCP is to be read in conjunction with the controls below.
- The controls below apply in addition to the general development controls in Chapter B3 in this part of the DCP; this includes controls for Inter-War flat buildings (Chapter B3 Section 3.8.7). Where there is an inconsistency, the controls below take precedence.

B2.6 Aston Gardens, Bellevue Hill		
Objectives		Controls
O1	To conserve the buildings and their settings.	Note: Refer to Part B of the DCP, Chapter B3, General Development Controls Section 3.8.7 Inter-War flat buildings
O2	To conserve the principal elevation.	
O3	To protect important views from the public domain to the harbour and to the surrounding districts.	C1 Development maintains the views and glimpses between buildings from the public domain as shown on the HCA precinct map.
		C2 Development on the low side of the street preserves views from the street to surrounding areas by providing substantial breaks between buildings, car parking and other structures and front fences.

B2.7 Victoria Road, Bellevue Hill

MAP 6 Victoria Road heritage conservation area



Statement of significance

The Victoria Road HCA is located to the southern side of Victoria Road near the upper limits of Cooper Park at 165-179 Victoria Road, Bellevue Hill. The HCA contains a cohesive group of buildings which demonstrates the forms and styles employed in the consolidation of residential areas of the Woollahra Municipality in the late Inter-War period.

The buildings demonstrate the aesthetic preferences of late Inter-War development by a variety of persistent revival styles, namely the Inter-War Old English and Georgian Revival styles, and the increasingly modern Inter-War Art Deco and Functionalist styles. The buildings are consistent in scale, mass and orientation to the street.

The buildings are of smooth and textured face brick construction with terracotta Marseille tile roofs, partially concealed by raised and detailed brick parapets to the street frontage. These generally retain painted timber frame windows and glazed doors, which contrast with the deep red of the face brick exteriors. The use of common finishes of textured and smooth faced brickwork, terra cotta tile, quarry faced sandstone and timber framed windows and doors, provides cohesiveness within the group and enhances its aesthetic significance.

Typical materials include polychromatic brickwork incorporating heraldic motifs and label moulds, tapestry pattern brickwork and stepped and vertically aligned brickwork to parapets. Coloured lead lighting patterned glazing to express stairways and multi-paned window sashes reinforce the eclectic use of stylistic elements in the buildings. Raised parapets and high gables provide silhouetted forms against the skyline whilst sandstone faced basement garages provide a pediment to many of the buildings. Specialised finishes include limited use of glazed architectural terracotta, chromed door hardware and timber panelling to the entry lobbies.

The buildings, whilst commonly altered in detail, retain external forms, fabric, detailing and hard landscaping from the original period of construction. For example, the residential flats retain some terraced flagstone paving and entry stairs to narrow side passageways.

In addition, the group retains much of its original landmark relationship to Victoria Road and the ridgeline setting opposite the upper boundary of Cooper Park.

Desired future character

- To conserve the significant and cohesive character elements of the Inter-War flat buildings in the Victoria Road HCA, including the external building forms, fabric, detailing and hard landscaping from the original period of construction.

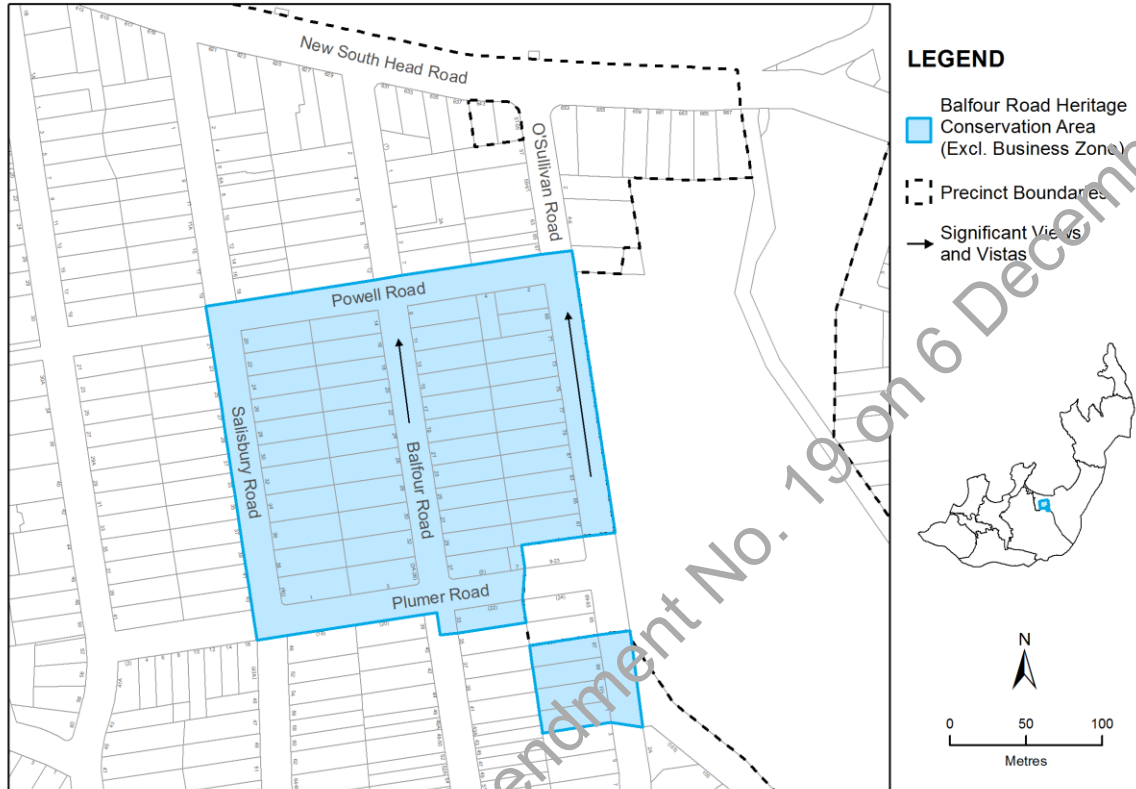
Note:

- The Victoria Road HCA is located within the Bellevue Hill South precinct. The precinct character statement for the Bellevue Hill South precinct in Chapter B1 in this part of the DCP is to be read in conjunction with the controls below.
- The controls below apply in addition to the general development controls in Chapter B3 in this part of the DCP; this includes controls for Inter-War flat buildings (Chapter B3 Section 3.8.7). Where there is an inconsistency, the controls below take precedence.

B2.7 Victoria Road, Bellevue Hill			
Objectives		Controls	
O1	To conserve the buildings and their settings.	C1	The visual dominance and cohesiveness of the group of Inter-War flat buildings is retained.
O2	To conserve the principal elevation.	C2	Development does not obscure or reduce the visual relationship of the buildings to each other, and to the street frontage.

B2.8 Balfour Road, Rose Bay

MAP 7 Balfour Road heritage conservation area



Statement of significance

The Balfour Road HCA lies in the valley of Rose Bay in proximity to the harbour foreshore just south of New South Head Road, and is characterised by Inter-War flat buildings which form a substantially cohesive and intact group.

This HCA represents the intensified residential development of Rose Bay in the Inter-War period following subdivisions of Ryan's Dairy earlier in the century and the introduction of regular public transport along New South Head Road after 1903.

Most buildings in this HCA are high-quality two and three-storey 'builder's blocks' of residential flat buildings dating from the mid-1920s and mid-1930s, which display distinctive architectural characteristics of the Inter-War period. Many demonstrate outstanding craftsmanship in brick detailing and remain substantially unaltered from their original appearance, incorporating distinctive design motifs of the Inter-War period. The buildings combine to create cohesive streetscapes of similarly scaled and detailed buildings with open landscaped front yards set in wide tree lined avenues.

The precinct has heritage significance at a local level for values related to historic evolution and aesthetic values and represents the local heritage theme of suburban expansion and consolidation. The significant streetscape is the Balfour Road streetscape, between Powell Road and Plumer Road.

The public domain is characterised by rectilinear road and subdivision pattern that provides visual and functional links to surrounding areas including the harbour and the nearby golf club.

Note: This HCA contains a local neighbourhood centre, known as the Plumer Road shops. The shops have a business zoning; the relevant objectives and controls for these buildings are contained in Part D of the DCP, Chapter D1 Neighbourhood Centres and Chapter D2 Mixed Use Centres.

Desired future character

- To maintain the cohesive streetscape appearance of the two to three storey Inter-War flat buildings, of face brickwork, with low brick fences, uniform setbacks, side driveways for parking and substantial street plantings.

Note:

- The Balfour Road HCA is located within the Bellevue Hill North precinct. The precinct character statement for the Bellevue Hill North precinct in Chapter B1 in this part of the DCP is to be read in conjunction with the controls below.
- The controls below apply in addition to those in Chapter B3 of this part of the DCP, General Development Controls, including controls for Inter-War flat buildings (Section 3.8.7). Where there is an inconsistency, the controls below take precedence.

B2.8 Balfour Road, Rose Bay			
Objectives		Controls	
O1	To conserve the buildings and their landscape settings.	C1	Development maintains a uniform front setback with no substantial structures within this setback.
O2	To maintain the streetscape appearance with uniform setbacks.	C2	New development provides front setbacks which are the same as those on adjoining lots. Where adjoining lots have different setbacks, then an average of the two is provided.
		C3	New development maintains the existing building separation pattern by providing a side driveway, or similar setback to one side boundary.
		C4	For corner sites—the secondary frontage may have a small setback, similar to existing corner developments.

B2.8 Balfour Road, Rose Bay**Objectives****Controls**

		C5	New development provides additional street tree plantings and includes appropriate landscaping of the front setback.
		C6	The existing tree canopy is retained.
		C7	No avenue street trees are removed unless they pose a risk.
O3	To maintain existing building scale, form and height, and ensure new development is compatible with the streetscape.	C8	No increase in height of existing buildings.
		C9	New development is not more than three storeys.
		C10	Notwithstanding C9 above, new development is not higher than development on the adjoining land.
		C11	New development displays similar roof form and pitch of the adjoining buildings, particularly when viewed from the street.
O6	To ensure that the character of original roofscapes is maintained.	C12	An additional storey is not permitted in the roof structure of existing buildings.
		C13	New roofs are a similar pitch and style (i.e. hipped and gabled) and use similar materials (i.e. terracotta tiles/slate).
		C14	Dormer windows are not permitted in existing or proposed roofs.
O7	To maintain the streetscape appearance of low brick fences.	C15	New front fences are low and open, typically with low brick piers and infill.
		C16	Low hedges may be used as infill for fences.
		C17	Fences are not permitted in the front setback area to divide the area into courtyards for individual flats.
		C18	Secondary frontages on corner blocks have no fence, or a very low fence and landscaping.

B2.8 Balfour Road, Rose Bay

Objectives

O8 To ensure that parking and access does not detract from the cohesive streetscape appearance.

Controls

C19 Parking spaces, carports or garages are not permitted in the front setback.

C20 Parking is located at the rear of buildings with side driveways, consistent with the historical pattern in the area.

Repealed by WDCP 2015 Amendment No. 19 on 6 December 2021

B2.9 Beresford Estate, Rose Bay

MAP 8 Beresford Estate heritage conservation area



Statement of significance

The Beresford Estate HCA in Balfour Road, Rose Bay, is a Federation Arts and Crafts Group, which represents the early subdivision and development of the Beresford Estate close to New South Head Road in the first decades of the 20th century. It provides evidence of the historic processes related to this part of the suburb through the subdivision of the grounds of the Rose Bay Lodge and as a result of the introduction of the Rose Bay Tram service in 1903.

The group demonstrates a variety of characteristic external elements of the Federation Arts and Crafts style of architecture, including broad walls of rough cast render with face brick often on sandstone bases, dominant roofs in slate or terracotta tiles with prominent chimneys, and decorative timber detailing. These demonstrate the fashionable use of prominent gable features and arched openings and occasional buttressed walls. The gardens generally remain as informal layouts, retaining mature trees and original stone walls with wrought iron details or brick fencing with timber details.

The dwellings and their gardens form a cohesive and aesthetically significant group, and are representative of Federation dwellings in Rose Bay; although the buildings have undergone some degree of modification, these are generally sympathetic to their original character.

Desired future character

- To conserve the significant elements of the Federation Arts and Crafts Group in the Beresford Estate HCA, including the dominant roofs, prominent chimneys, decorative timber detailing of the buildings, mature trees, original stone walls and fences.

Note:

- The Beresford Estate HCA is located within the Bellevue Hill North precinct. The precinct character statement for the Bellevue Hill North precinct in Chapter B1 in this part of the DCP is to be read in conjunction with the controls below.
- The controls below apply in addition to the general development controls in Chapter B3 in this part of the DCP. Where there is an inconsistency, the controls below take precedence.

B2.9 Beresford Estate, Rose Bay			
Objectives		Controls	
01	To maintain the streetscape character.	C1	Original principal roof forms, including roof pitch, eaves height and chimneys, are retained.
02	To conserve the buildings and their settings.	C2	Alterations to the original details, materials or finishes of the principal form are not permitted, except for restoration or reconstruction.
		C3	Original verandahs are not in-filled.
		C4	Room layout and original proportions are retained.
		C5	Elements of the established garden settings are retained, including mature trees, original pathways, gates and front fencing forward of the building line.
03	To maintain the streetscape appearance with uniform setbacks.	C6	Front setbacks are consistent with the group.
04	To ensure that parking and access does not detract from the streetscape appearance.	C7	Car parking is located behind the building line.
		C8	Where there is no side setback greater than 3m—any existing car parking structure forward of the building line may only be replaced by a single pergola structure forward of the building line and to the side of the property.

B2.9 Beresford Estate, Rose Bay**Objectives**

O5 To maintain the existing building scale, form and height, and ensure new development is compatible with the streetscape.

Controls

C9 Development is a maximum two storey high with pitched roof forms. The scale and character is consistent with the group.

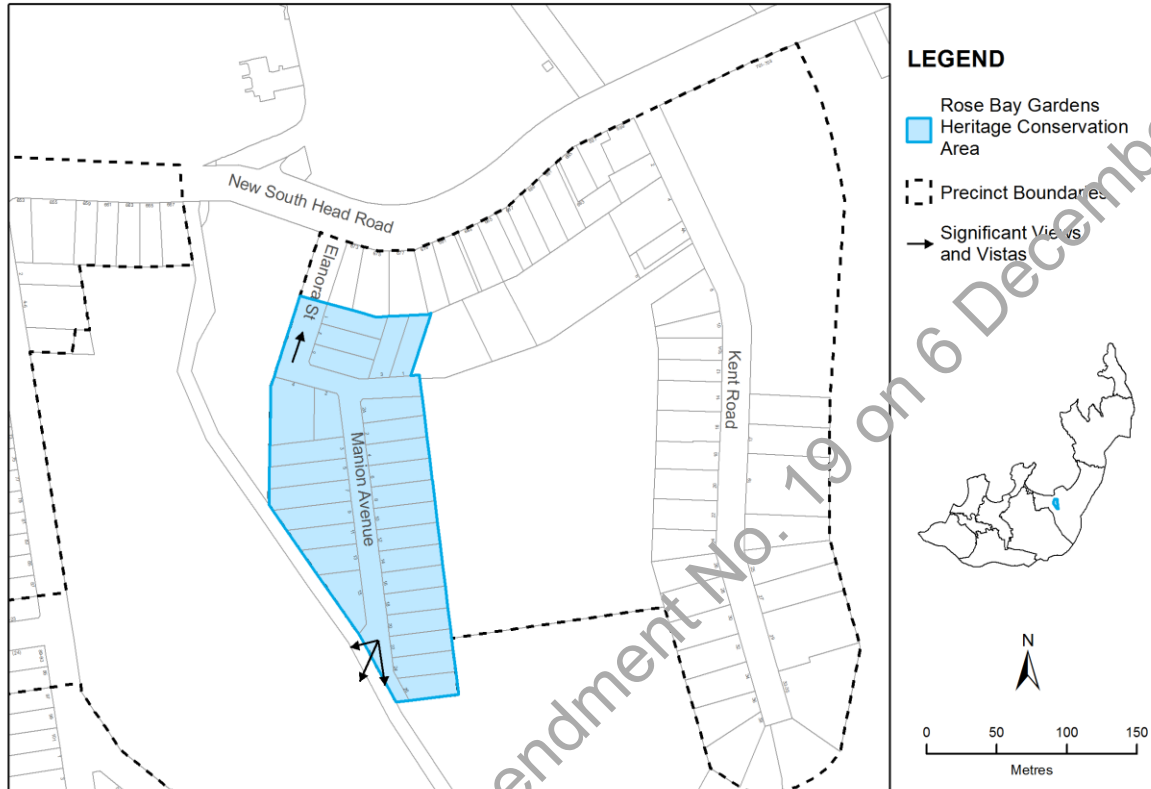
C10 Additions may be located at the rear or in the principal roof form, provided no alteration to the principal roof form, including dormers, is visible from the public domain.

C11 Additions at the side of a residential building may only be permitted if:

- a) the addition is designed to respect and enable interpretation of the form of the existing building; and
- b) additions are set behind the main ridgeline of the existing building so that the forms are secondary to the existing building.

B2.10 Rose Bay Gardens Estate, Rose Bay

MAP 9 Rose Bay Gardens Estate heritage conservation area



Statement of significance

The Rose Bay Gardens Estate HCA is situated in the flat valley behind Rose Bay south of New South Head Road and Lyne Park. This HCA contains an outstanding group of largely intact Inter-War flat buildings dating from 1930 to 1939, some of which were designed by prominent architects.

The buildings are two to three storeys and constructed of face brick with Art Deco detailing, generally timber double-hung windows and generally hipped and gabled roof forms with terracotta roof tiles. The facades feature decorative render, plasterwork, and/or brick detailing. The buildings also have a landscaped garden setting and low masonry front fences, which complement the buildings.

The group has retained their garden settings, and the subdivision pattern of the street is intact. The area is significant in demonstrating the move away from large freestanding houses to modern and fashionable flats in the Inter-War period and the changing planning regulations increasing the density of the inner suburbs of Sydney.

Desired future character

- ▶ To retain the significant character elements of the Inter-War flat buildings in the Rose Bay Gardens Estate HCA, including the buildings, their settings and the views from the public domain to and between the buildings, the golf course and Lyne Park.

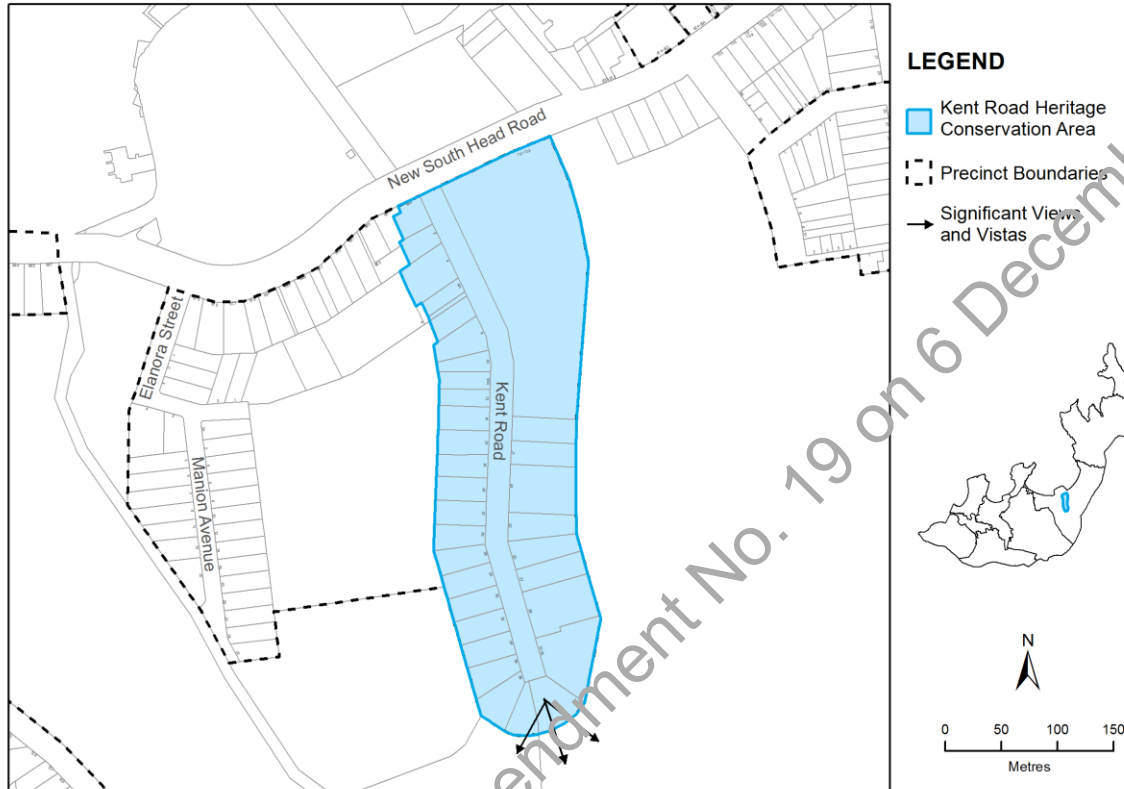
Note:

- ▶ The Rose Bay Gardens Estate is located within the Rose Bay precinct. The precinct character statement for the Rose Bay precinct in Chapter B1 in this part of the DCP is to be read in conjunction with the controls below.
- ▶ The controls below apply in addition to the general development controls in Chapter B3 of this part of the DCP, General Development Controls, including controls for Inter-War flat buildings (Section 3.8.7). Where there is an inconsistency, the controls below take precedence.

B2.10 Rose Bay Gardens Estate, Rose Bay			
Objectives		Controls	
O1	To retain and conserve the buildings and their settings.	C1	The building and its setting is conserved in accordance with the Inter-War flat building controls in Chapter B3 Section 3.8.7.
O2	To protect important views from the public domain.	C2	Views from the street and public open space areas to the harbour and other parts of the city must be retained.
		C3	Development maintains the significant views and vistas identified on the map for the HCA.

B2.11 Kent Road, Rose Bay

MAP 10 Kent Road heritage conservation area



Statement of significance

Kent Road is a long cul-de-sac located off the southern side of New South Head Road opposite the reclaimed land, which forms Lyne Park. It is an important part of the extended setting of the Royal Sydney Golf Club, with the road and its related subdivision creating the western edge of the golf links. The golf clubhouse is located at the lower northern end where it is the dominant element.

The Kent Road HCA represents a distinct, isolated pocket of residential development in the Rose Bay area, arising directly from the historical development and financial activities of the Royal Sydney Golf Club.

The road is dominated at its lower end by the impressive mass and detail of the historically, aesthetically and socially significant 1920s Clubhouse building and its immediate setting.

The other buildings in the street fall into three broad categories:

- substantial late Federation era Arts & Crafts style houses on the eastern side of the road overlooking the golf links which were well established before the 1919 "Knoll" subdivision sale and are now largely modified;
- Inter-War flats and houses built between 1920 and the late 1930s which were a direct result of rapid residential expansion of Rose Bay following the First World War; and

- ▶ infill developments which have replaced earlier buildings or vacant sites in the late 20th century.

Amongst these buildings are a number of excellent representative and rare examples of Inter-War residential development by prominent architects which are of local significance within the Woollahra Municipality.

Kent Road itself is wide with street trees of varying species and maturity, along with wide verges and footpaths. It rises steeply to the 'knoll' and contains a double bend following the contours, which adds to the character of the streetscape, creating a series of enclosed vistas. The road terminates in the cul-de-sac with views over the Golf links and beyond up to Dover Heights.

The area also has significant aesthetic qualities arising from the overall form and layout of the subdivision, the presence of prominent mature gardens and the character created by a variety of substantial street tree plantations.

Desired future character

- ▶ To conserve the streetscape characteristics that gives the Kent Road HCA its special sense of identity.
- ▶ To ensure that individual heritage items are retained and conserved, as well as their streetscape context and curtilage.

Note:

- ▶ The Kent Road HCA is located within the Rose Bay precinct. The precinct character statement for the Rose Bay precinct in Chapter B1 in this part of the DCP is to be read in conjunction with the controls below.
- ▶ The controls below apply in addition to the general development controls in Chapter B3 of this part of the DCP, General Development Controls, including controls for Inter-War flat buildings (Section 3.8.7). Where there is an inconsistency, the controls below take precedence.

B2.11 Kent Road, Rose Bay			
Objectives		Controls	
O1	To conserve the buildings and their settings.	C1	The original fabric of Federation Arts and Crafts buildings is retained.
O2	To maintain the streetscape character and scale of buildings.	C2	New buildings, while also encouraging architectural diversity, are of a scale and form compatible with existing buildings and do not dominate the streetscape.
O3	To ensure that the landscape character of the streetscape is maintained by preserving the existing tree canopy and	C3	The dominance of vegetation over buildings in the streetscape is conserved.
		C4	New development provides additional

B2.11 Kent Road, Rose Bay			
Objectives		Controls	
	encouraging additional planting.		street tree plantings and includes appropriate landscaping in the front setback.
O4	To ensure that development respects the existing subdivision layout and pattern of building separation.	C5	Front setbacks are the same as on adjoining lots. Where adjoining lots have different setbacks, then an average of the two is provided.
		C6	New development maintains the existing building separation pattern to enable planting of side setbacks and maintenance of views.
O5	To ensure development maintains the amenity of the public domain by preserving views to adjoining open space areas and the enclosed vistas of the streetscape.	C7	Development maintains and enhances views between buildings.
O6	To maintain the variety of exterior building materials and ensure conservation of streetscape character.	C8	Any replacement of original building fabric is of a similar material and type (e.g. timber for timber, terracotta tiles).
O7	To ensure that external facades are sympathetic to the original building and the predominant streetscape character.	C9	No painting, bagging or rendering of original face brickwork.
		C10	No infilling (by glazing or otherwise) of original verandahs or balconies.
		C11	New structures or additions visible from the public domain use compatible materials.
		C12	New roofs are a similar pitch and style (i.e. hipped or gabled), and use similar materials (i.e. terracotta tiles or slate).
		C13	Roof structures, such as skylights and solar panels, are not to be visible from the street.

B2.11 Kent Road, Rose Bay**Objectives****Controls**

O8 To ensure that significant fences are conserved.

C14 Sandstone walls are retained.

O9 To ensure that new front fences are compatible with the streetscape character of the HCA.

C15 Original front fences and gates are retained, where practical.

C16 New front fences and gates designed to be compatible with the streetscape.

a) On the western side of Kent Road—fences are low.

b) On the eastern side—fences reflect the characteristic sandstone base with open or vegetated infill.

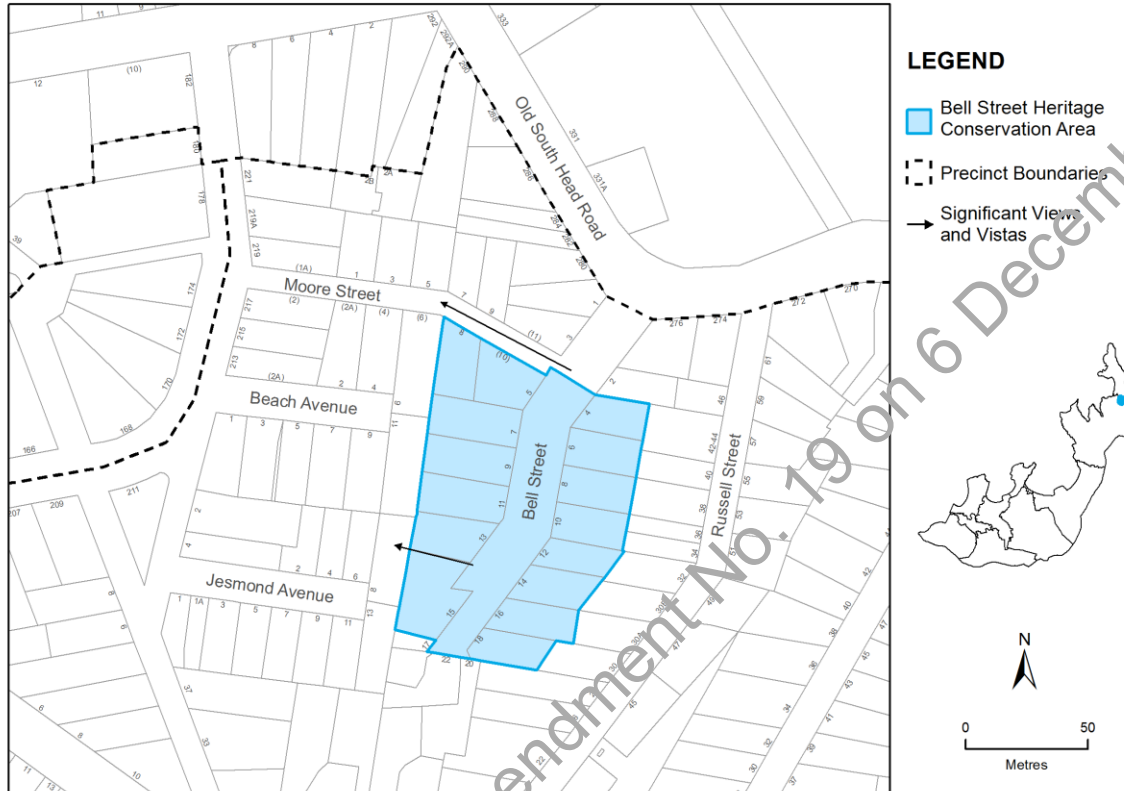
C17 New fences and gates are a height similar to fences on adjoining blocks (generally 400mm-900mm).

O10 To ensure that on-site parking does not dominate the streetscape.

C18 No garages or carports are located within the front building setback.

B2.12 Bell Street, Vaucluse

MAP 11 Bell Street heritage conservation area



Statement of significance

Bell Street runs south west of Old South Head Road and falls in that direction. This HCA contains a cohesive collection of 1 and 2 storey late Victorian cottages dating from 1877 to 1892, constructed of weatherboard and corrugated iron with timber double-hung windows and timber panelled doors.

Although some of the buildings have been altered and added to, the alterations and additions are generally sympathetic and allow the original form of the building to still be interpreted. The streetscape includes timber picket fences and street trees.

Bell Street has strong historical associations with the village of Watsons Bay as it functioned as part of the adjoining village. The group of cottages can still be seen and understood in the context of the nearby Anglican and Roman Catholic Churches which served the village.

On the route to South Head the street forms an important visual introduction to the historic Watsons Bay village, and this scenic quality is enhanced by its location next to the bend of Old South Head Road from where the whole group can be appreciated as a single entity.

The conservation area was part of the Beaconsfield Estate owned by Sir John Robertson and the subdivision pattern he created in 1887 remains intact. Bell Street's weatherboard and corrugated iron cottages, which form a coherent and contiguous group, are rare in the Woollahra Municipality.

Examples include:

- ▶ No. 7 Bell Street which is associated with a noted 19th century Australian watercolourist Pilford Fletcher Watson, as the cottage was built and used as his home; and
- ▶ No. 12 Bell Street, which in fabric and form is a surviving intact example of a late 19th century pattern book construction.



Desired future character

- ▶ To retain and enhance the contributory items and their settings in the Bell Street HCA.

Note:

- ▶ The Bell Street HCA is located within the Vaucluse East precinct. The precinct character statement for the Vaucluse East precinct in Chapter B1 in this part of the DCP is to be read in conjunction with the controls below.
- ▶ The controls below apply in addition to the general development controls in Chapter B3 in this part of the DCP. Where there is an inconsistency, the controls below take precedence.

B2.12 Bell Street, Vacluse

Objectives		Controls	
O1	To retain the significant character elements of the built form in the Bell Street HCA.	C1	Development corresponds to the front alignment of adjoining buildings.
O2	To ensure that alterations and additions are sympathetic and allow interpretation of the original building form.	C2	Building height corresponds to the height of adjoining buildings and is to be limited to a single storey with attic level and/or where site and context are suitable, a two storey pavilion style rear extension connected to the cottage by a smaller scaled structure.
		C3	Development follows the established cottage forms with simple, rectangular volumes and traditionally pitched roofs. No flat roofs on primary, street facing, volumes.
		C4	Materials are timber lining boards for walls and corrugated steel for roofs. Exposed or rendered brickwork may be used for walls and tiles for roofs in the case of additions depending on context.
		C5	Garages and car parking structures are set back beyond the front building line.
O3	To protect views to and from the public domain of the precinct and to maintain view corridors to the harbour.	C6	Front fences are a maximum 1.2m in height using: timber pickets, timber post and rail with wire inserts, or rendered masonry consistent, with the character of the house on the site.
		C7	Views from the street and public open space areas to the harbour and other parts of the city are retained.
		C8	Development maintains the significant views and vistas identified on the map for the HCA.